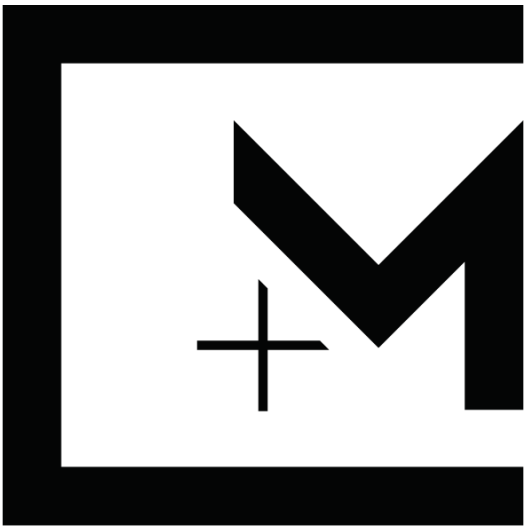




CHILTON + MAYNE
ARCHITECTURE

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Approved Building
Consent Documents

BC0734/21

Ashburton District Council

C L A R K E H O U S E
2 E L M T R E E L A N E
L A K E H O O D A S H B U R T O N
2 0 2 1

DESIGN SUMMARY

GENERAL NOTES:

OWNER:	CLARKE
ADDRESS:	2 ELM TREE LANE
LEGAL DESCRIPTION:	LOT 41 ELM TREE LANE

GENERAL SITE DETAILS:

EXPOSURE / CORROSION ZONE	= ZONE B
BUILDING CLASSIFICATION	= IMPORTANCE LEVEL 2
FLOOR LIVE LOAD	= 2.0KPa
OVERALL HEIGHT OF BUILDING	= 6.07m
WIND REGION	= A
LEE ZONE	= YES
GROUND ROUGHNESS	= GENTLE
SITE EXPOSURE	= EXPOSED
TOPOGRAPHIC CLASS	= T1
WIND ZONE	= HIGH
EARTHQUAKE ZONE	= ZONE 2
SOIL CLASS	= C

GENERAL PLANNING DETAILS:

TERRITORAL AUTHORITY	= ASHBURTON DISTRICT COUNCIL
RESIDENTIAL ZONE	= RESIDENTIAL C
ZONE RULES	
BUILDING COVERAGE	=35%
MAX HEIGHT	=8m
SETBACK FROM STREETS	= 3.0m
SETBACK FROM NEIGHBOURS	= 1.8m

GENERAL CONSTRUCTION NOTES:

All work to comply with NZS 3604: 2011 amendments 1&2
All glazing to comply with NZS4223: 2016
All structural members to comply with NZS3604:2011 & NZS3602:2003 with 50 years durability
All exterior claddings & decking to comply with NZS3604:2011 & NZS3602:2003 with 15 years durability
Place continuous full width DPC between all 1) timber & concrete, 2) Steel members & concrete.
All materials & products installed to manufacturers specification
Protect or remove all planting around the site and re-establish at completion of construction, confirm with client
Make good to all existing site structures, timber retaining, driveways and surface water site drainage around the site at completion of construction, confirm with client
Make good to all ground levels, fill all excavation and evenly spread top soil over site ready for landscaping

WALL FRAMING NOTES:

WIND ZONE = HIGH
Loaded Dimension =3.5
1. Studs in Loadbearing walls single or top storey- NZS 3604 Table 8.2
Typical Studs up to 2.610m in height to be 90x45 SG8 @ 400crs & dwangs @ 800crs generally unless otherwise specified,
Chimney Studs up to 4.5m in height to be 140x90 SG8 @ 400crs & dwangs @ 800crs generally unless otherwise specified.
2. Studs in non-loadbearing walls - NZS 3604 Table 8.4
Studs up to 2.61m in height to be 90x45 SG8 @ 600crs & dwangs @ 800crs

FIXINGS SCHEDULE:

Site requirements	
Altitude	= 80m
Snow Zone	= N4
Wind Zone	= HIGH
Earthquake Zone	= 2
Exposure zone	= C
Wall Plates to Concrete Slab	
Bottom plate on DPC fixed with Bowmac M10 x140 blue head screw bolt @ 600mm crs max.	
Bottom plate to stud	
Bottom plate fixed to stud with 3/90x3.15 nails end nailed Bottom plate to stud fixing must also comply with Bracing element system & Lintel fixing requirements	

Lintel fixing to framing	
Lintel fixing installed to Mitek typical lintel fixing details as per lintel / beam schedule	
Top plate to studs	
Lumberlock Studlok system to be used	
Truss to top plate	
Trusses fixed as per truss manu. specification, refer Truss Design in appendix	
Purlins to trusses	
Purlins fixed to trusses/rafters with 1 / 10g self-drilling type 17 screw, 80 mm long	
General fixing notes	
Fixing requirements installed as per fixing schedule, NZS3604:2011 and details.	

TIMBER TREATMENT & GRADE SCHEDULE

Roof Trusses & purlins	H1.2 SG8
Internal structural framing timber	H1.2 SG8
Internal finishing timber	Pine dressed no.1 clears
Internal skirting to bathrooms	Pine dressed no.1 clears H3.2
Internal skirting	Pine dressed no.1 clears
All other materials & sizes as specified in drawings	

GENERAL SELECTIONS OVERVIEW:

CONCRETE SLABS:	
Slab on grade	-Concrete Slab Strength to be 20 MPa at 28 days. -Powerfloat machine finish CCANZ level U4 specification to internal concrete slabs
	Concrete production shall be in accordance with the requirements of NZS 3104:1991 "Concrete Production - High Grade and Special Grade", unless otherwise approved in writing by the Engineer. All concrete must be supplied by a high or special graded plant as defined in NZS 3104:2021.
	No additives are to be included in the mix design without the written approval of the Engineer.
Garage slab finish	-3 coats of Cemix Cemprotect impregnating sealer to manu. spec.
EXTERIOR CLADDING:	
Walls	-Specialized Ezpanel 50mm AAC concrete panel cladding fixed over 20mm cavity - Weathertex cavity fixed weathergroove panel cladding systems
Fascia	- 185mm Colorsteel fascia system
Gutters	- Metalcraft Quarter round gutter system
Soffit	- 4.5mm Hardies soffit lining fixed to H1.2 treated 70x45 pinus radiata blocking @600mm CRS
ROOFING:	
R1	- 0.55mm Metalcraft 5-Rib Roofing Cladding - Colour, as per owners request - 0.55mm Colorsteel flashings to match roofing
LININGS:	All spaces except bathrooms & Laundry -GIB standard, 10mm to walls, 13mm to ceiling -GIB stopping to level 4 stopping, paint finish
WET AREA LININGS:	
-Ensuite	-GIB Aqualine, 10mm to walls, 13mm to ceiling -GIB stopping to level 4 stopping, paint finish
-Bathrooms	-GIB Aqualine, 10mm to walls, 13mm to ceiling -GIB stopping to level 4 stopping, paint finish
-Toilet	-GIB standard, 10mm to walls, 13mm to ceiling -GIB stopping to level 4 stopping, paint finish
-Laundry	-GIB Aqualine, 10mm to walls, 13mm to ceiling -GIB stopping to level 4 stopping, paint finish
Bracing elements	-Install GIB bracing elements to manu. spec's as per bracing plan & schedule
Cornices	-Square stopped
General lining notes	-GIB linings installed to manu. spec. -GIB stopping to level 4 finish for paint finish -GIB ceiling linings on Rondo batten system @ 600crs max -Use GIB paper tape & GIB Goldline Platinum tape on trims

WRAPS / UNDERLAYS / DPC installed to manu. spec.	
-DPM	-Thermakraft 0.25mm black polythene
-DPC	-Thermakraft supercourse Perimeter DPC
-ROOFING UNDERLAY	-Thermakraft Covertek 407 self-supporting
-WALL UNDERLAY	-Thermakraft 403 wall underlay
-WINDOW / DOOR SEALING SYSTEM	-Marshall Innovations detail tape
-AIR SEAL BACKING ROD	-PEF backing rods as required

INSULATION	
-R2.8 standard wall batts	
-R3.6 standard ceiling batts	
EXTRACTOR FANS:	
-Extractor fan unit with integrated down light, with roof cowl SIMX 1060 Roof Cowl	
Fan with 150Ø duct to Diffuser DCT3211	
- Delayed timer cut out	

HOT WATER SYSTEM:	
-Type 20mm Polybutylene pipe	
BATHROOM FIXTURES & FITTINGS:	
Contractor to supply blocking for fixing as required	
BATHROOM LIGHTS:	
All recessed LED downlights to bathroom/ Ensuite & kitchen to be CA, IC or IC-F rated	

KITCHENS, PANTRY, LAUNDRIES, WARDROBES	
by others, confirm with client	
FLOOR COVERINGS:	
Selected by client, refer finishes	

FINISHES:

GIB WALL LININGS EXCLUDING WET AREAS	
- GIB level 4 finish to maunfacturers specifications with wall board acrylic sealer/undercoat (<i>Resene Broadwall</i>) with 2 top coats of a wall board waterbourne enamel paint (<i>Resene SpaceCote low sheen</i>) or similar approved, client to confirm colour.	
GIB CEILING LININGS EXCLUDING WET AREAS	
- GIB level 4 finish to manufacturers specifications with wall board acrylic sealer/undercoat (<i>Resene Sureseal</i>) with 2 top coats of wall board waterbourne enamel paint (<i>Resene SpaceCote low sheen</i> kitchen & bathroom) or 2 top coats of wall board old based enamel paint (<i>Resene room Velvet</i>) if bathroom to be used within 2 weeks of applying, or similar approved, client to confirm colour.	
BATHROOM/ ENSUITE / LAUNDRY GIB WALL & CEILING LININGS	
- GIB level 4 finish install to manufacturers specifications with Oil based sealer/ undercoat (<i>Resene Sureseal</i>) with 2 top coats of wall board waterbourne enamel paint (<i>Resene SpaceCote low sheen</i> kitchen & bathroom) or 2 top coats of wall board old based enamel paint (<i>Resene room Velvet</i>) if bathroom to be used within 2 weeks of applying, or similar approved, client to confirm colour.	
INTERIOR TIMBER & MDF - REVEALS/ SKIRTINGS & DOORS PAINT FINISH	
- Quick dry acrylic primer/ undercoat (<i>Resene Quick Dry</i> waterbourne primer undercoat) with 2 top coats of a Acrylic enamel paint (<i>Resene Lustacryl</i>), or similar approved, client to confirm brand & colour.	
EXTERIOR PINUS WEATHERBOARDS & TRIMS	
- Quick dry acrylic primer/ undercoat (<i>Resene Quick Dry</i> waterbourne primer undercoat) with 2 top coats of a Acrylic enamel paint (<i>Resene Sonyx 101</i>), or similar approved, client to confirm brand & colour.	
KITCHEN JOINERY	
MANUFACTURE AND SUPPLY	
All joinery items shall be manufactured and supplied free on site. Installation shall be by the Carpenter. All exposed carcass work visible (including when cupboard doors and drawers are in the closed position) shall match the finish of the adjacent exposed joinery finish. All items shall be inspected on delivery for damage.	
PRE-FINISHED MATERIALS	
Pre-finished boards specified shall be either Melteca or Melamine of a colour and finish as directed by the Owner. Edging of exposed pre-finished boards shall be 2mm PVC edging of colour to match the chosen board.	
Kitchen sinks and the like shall be stainless steel and be installed strictly in accordance with the manufacturers recommendations and instructions.	

BUILDING ENVELOPE RISK MATRIX	
Elevation A	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7
BUILDING ENVELOPE RISK MATRIX	
Elevation D	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7
BUILDING ENVELOPE RISK MATRIX	
Elevation B	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7
BUILDING ENVELOPE RISK MATRIX	
Elevation E	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7
BUILDING ENVELOPE RISK MATRIX	
Elevation C	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7
BUILDING ENVELOPE RISK MATRIX	
Elevation F	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	High risk 1
Number of storeys	Low risk 0
Roof/wall intersection design	Low risk 0
Eaves width	Very high risk 5
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	7

CLARKE HOUSE

LOT 41
2 ELM TREE LANE
LAKE HOOD

CONSULTANTS	
ISSUES	
A	08-08-2021 PRELIMS
B	01-11-2021 WORKING DRAWINGS
C	18-02-2022 RFFS

NOTES
- Contractors are reminded to check all dimensions and detailing on site prior to commencing any work.
- All work shall comply with NZS 3604:2011, the New Zealand Building Code and all other relevant standards.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendation and specification.
- Do not scale from drawings. All dimensions and site levels shall be confirmed on site prior to commencing any work.

Approved Building
Consent Documents

BC0734/21

Ashburton District Council

DESIGN SUMMARY

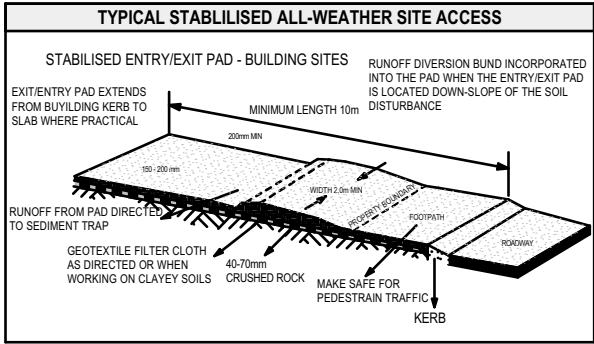
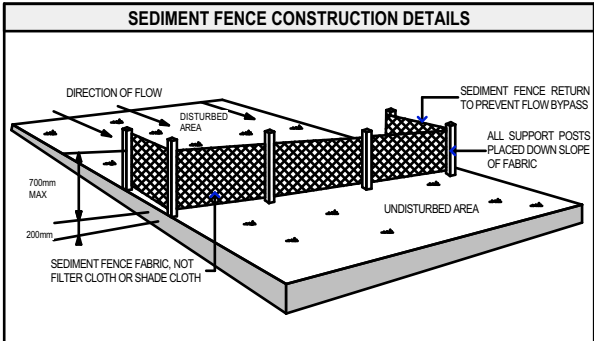
SCALE :	1:100 @ A2
DATE :	18-02-2022
PROJECT No:	21053

01 C



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EROSION & SEDIMENT CONTROL

PRE CONSTRUCTION PLANNING
PROJECT MANAGER TO OVERSEE COMMISSIONING OF SEDIMENT CONTROL ON SITE.
ALL WEATHER ACCESS
STABILISE ACCESS AND PARKING AREAS WITH GRAVEL. CONTROL WATER AT TOP OF SITE.
MANAGE WITHIN SEDIMENT CONTROL ZONE
SURPLUS SOIL/GRAVEL OR STOCKPILE TO BE CONTAINED BEHIND SEDIMENT FENCES.
VEGETATION BUFFER
PROTECT VEGETATION/GRASS AREA BY MANAGEMENT FENCES (SEDIMENT FENCE NETTING).
SEDIMENT CONTROL
SEDIMENT FENCE NETTING TO BE LAID TO STREET AND/OR AREAS WHERE RUN OFF COULD OCCUR.
MANAGE LITTER & WASTE
PROVIDE CONTAINED AREA FOR WASTE MANAGEMENT.
CONNECT ALL DOWN PIPES AS SOON AS ROOF IS FITTED.
MAINTAIN & DECOMMISSION FOREMAN TO ENSURE THAT SEDIMENT CONTROL FENCES ARE MAINTAINED AND DECOMMISSIONED
SERVICE TRENCHING
MINIMISE TRENCHING AND AMOUNT OF TIME THAT THE TRENCH IS OPEN.

WASTE MANAGEMENT GUIDELINES

PUT UP A CLEAR SIGN INFORMING THE WORKERS ABOUT WASTE REDUCTION PRACTICES. ALLOCATE AN AREA ON THE SITE FOR ALL BINS. A BIN FOR EACH RECYCLE, REUSE AND DISPOSAL DESTINATION. CLEARLY LABEL EACH BIN BY WHAT IT IS INTENDED TO STORE. DIFFERENT WASTE TYPES OCCUR AT DIFFERENT TIMES OF THE PROJECT, SUCH AS FOUNDATION, FRAMING, CLADDING AND FITOUT TIMES. PLAN WASTE SEPARATION SYSTEM AROUND THIS. ARRANGE FOR MATERIALS TO ARRIVE AS NEEDED AND PROTECT THEM TO AVOID DAMAGE. REUSE OFF-CUTS AND OTHER 'WASTE' AS MUCH AS YOU CAN ON THE JOB, OR MAKE THEM AVAILABLE FOR OTHERS TO USE. LET THE SITE MANAGER KNOW IF YOU EXPECT A LARGE AMOUNT OF A PARTICULAR WASTE, SO THAT A REUSE OR RECYCLING OPTION CAN BE FOUND.
HANDLE AND DISPOSE OF ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH NATIONAL AND LOCAL REGULATIONS. WASTE SKIP IS ONLY FOR MATERIALS THAT CANNOT BE REUSED OR RECYCLED, AND SHOULD BE USED AS A LAST RESORT.

SITE FENCING

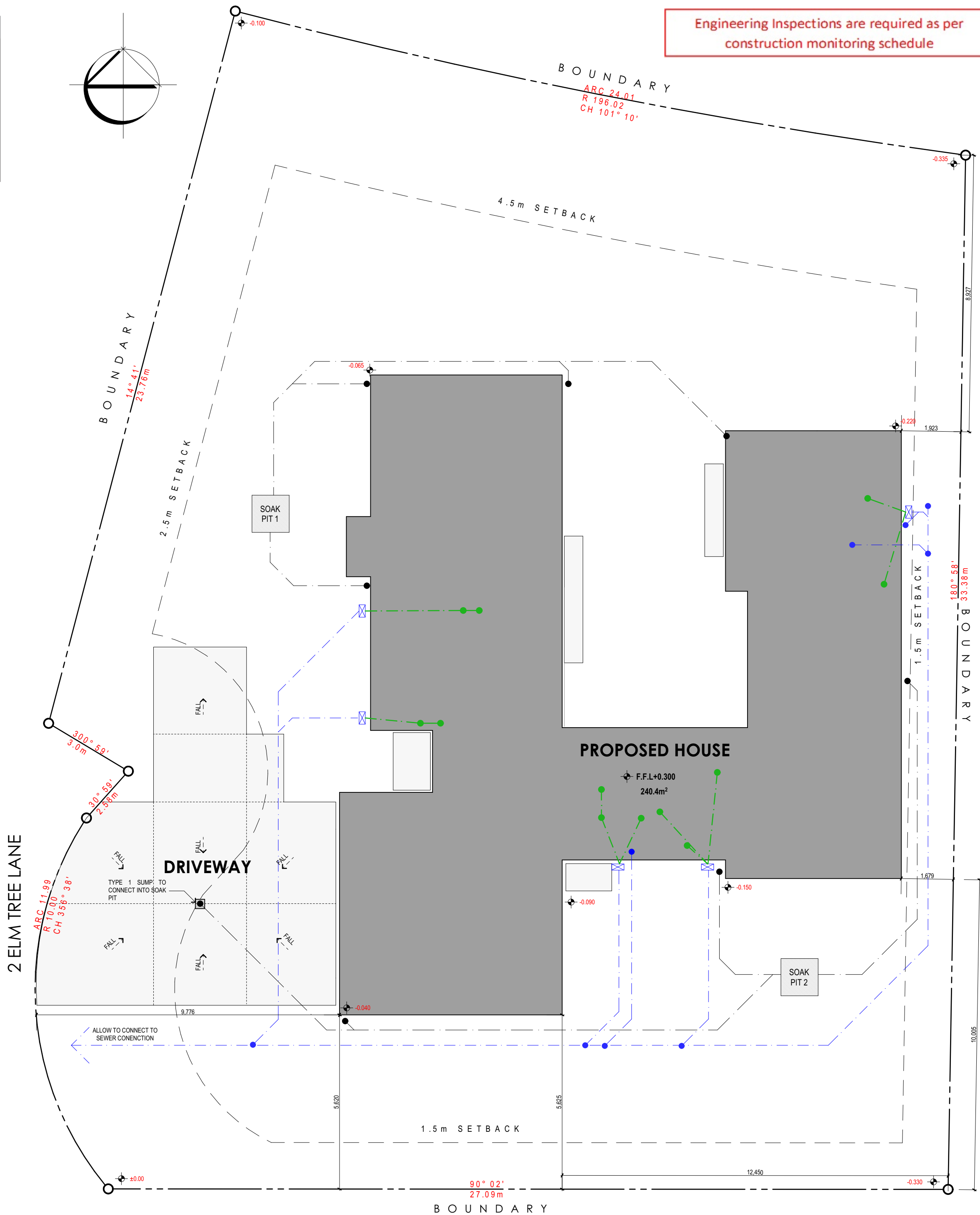
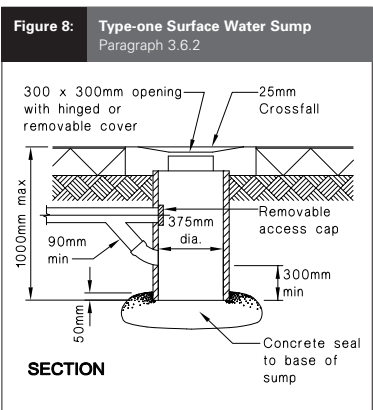
SITE SAFETY
THE SITE IS TO HAVE A SAFETY FENCE WITH LOCKABLE ACCESS GATE. THE GATE IS TO BE LOCKED WHEN SITE IS TO BE UNATTENDED, FENCING TO BE IN ACCORDANCE WITH NZBC. SITE HAZARD SIGNS TO BE PLACED AT GATE. NOTING EXPECTED HAZARDS, SITE LOG REQUIREMENTS AND SAFETY EQUIPMENT.

SITE FENCES AND HORDINGS
FENCES AND HORDINGS SHALL EXTEND AT LEAST 2.0m IN HEIGHT FROM GROUND LEVEL ON THE SIDE ACCESSIBLE TO THE PUBLIC.
AN ACCEPTABLE FENCE MAY BE CONSTRUCTED WITH GALVANISED SIZED GRID OF 50mm x 50mm. POST SPACINGS SHALL BE A MAXIMUM OF 2.5m, AND THE GAP BETWEEN THE BOTTOM OF THE FENCE AND THE GROUND NO GREATER THAT 100mm.
ALL SITE FENCES AND HORDINGS SHALL BE IN ACCORDANCE WITH NZBC F5/AS1

SITE DETAILS	
OWNER:	CLARKE
ADDRESS:	LOT 41 ELM TREE LANE
LEGAL DESCRIPTION:	LOT 41 DP 22602
HOUSE AREA:	240.2m ²
SITE AREA:	974m ²
SITE COVERAGE :	25.25%
NOTE: FINISHED FLOOR LEVEL OF THE PROPOSED HOUSE SHALL BE 225mm MIN ABOVE HIGHEST POINT IN SECTION	

SITE AND LOCATION PLAN

SCALE: 1:100 @ A2



Engineering Inspections are required as per construction monitoring schedule

ASHBURTON DISTRICT COUNCIL

This proposal requires a resource consent
No building work is to be undertaken until the resource consent has been issued

CLARKE HOUSE

LOT 41
2 ELM TREE LANE
LAKE HOOD

CONSULTANTS	
ISSUES	
A	08-08-2021 PRELIMS
B	01-11-2021 WORKING DRAWINGS
C	18-02-2022 RFFS

NOTES

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Approved Building
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BC0734/21

Ashburton District Council

SITE PLAN

SCALE :	1:100 @ A2
DATE :	18-02-2022
PROJECT No:	21053

02 **C**



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A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFFS

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Approved Building
Consent Documents

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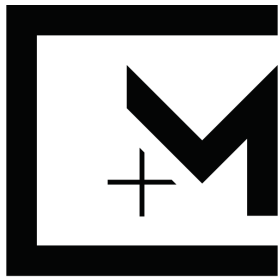
Ashburton District Council

PROPOSED FLOOR
PLAN

SCALE : 1:100 @ A2
DATE : 18-02-2022
PROJECT No: 21053

03

C



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C

B

D

A

ELEVATION
ORIENTATION

LEGEND

MECHANICAL VENTILATION

METER BOX

DISTRIBUTION BOARD

SMOKE DETECTOR

SHW. SHOWER

WM. WASHING MACHINE

TUB TUB

DRY DRYER

WC TOILET

B. BASIN

S. SINK

FRG. FRIDGE/FREEZER

BTH. BATH

H.T.R HEATED TOWEL RAIL

CS CAVITY SLIDER

SS SURFACE SLIDER

NOTE:

DIMENSIONS ARE OVER CLADDING
REFER TO FRAMING PLAN

PROPOSED FLOOR PLAN

SCALE: 1:100 @ A2

FLOOR AREAS:
GROUND FLOOR: 240m²

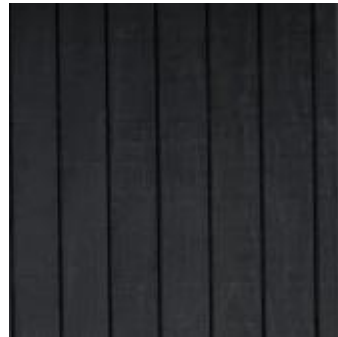


A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFIS

NOTES

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MATERIALS SELECTIONS



WEATHERTEX CAVITY FIXED
WEATHERGROOVE PANEL SYSTEMS
IN COLOUR SELECTED BY OWNER.



SPECIALIZED EZPANEL 50mm AAC
CONCRETE PANEL CLADDING



DARK ALUMINIUM JOINERY
COLOUR TO BE CONFIRMED WITH OWNER



T-RIB
ROOF CLADDING



METALCRAFT QUARTER ROUND SPOUTING
COLOUR TO MATCH ROOF

KEY TO WINDOW AND DOOR GLAZING	
4AG	4MM ANNEALED GLASS
4TSG	4MM TOUGHENED SAFETY GLASS
ALL GLAZING SHALL BE IN ACCORDANCE WITH NZS 4223:PART 3 2016	

ELEVATIONS

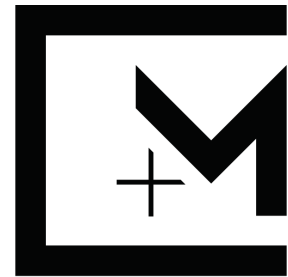
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DATE : 18-02-2022

PROJECT No: 21053

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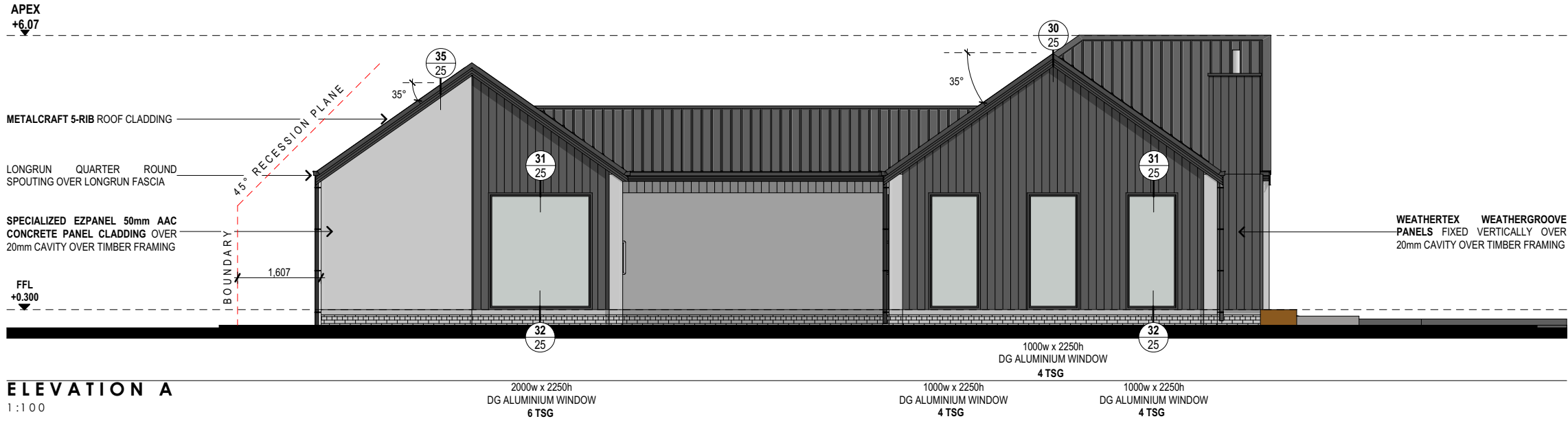
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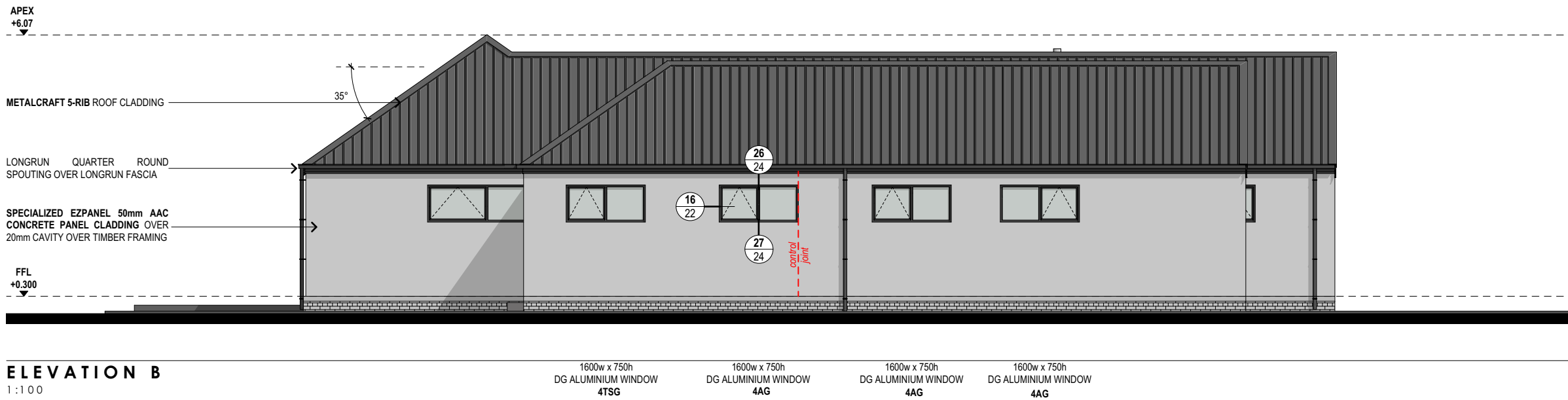
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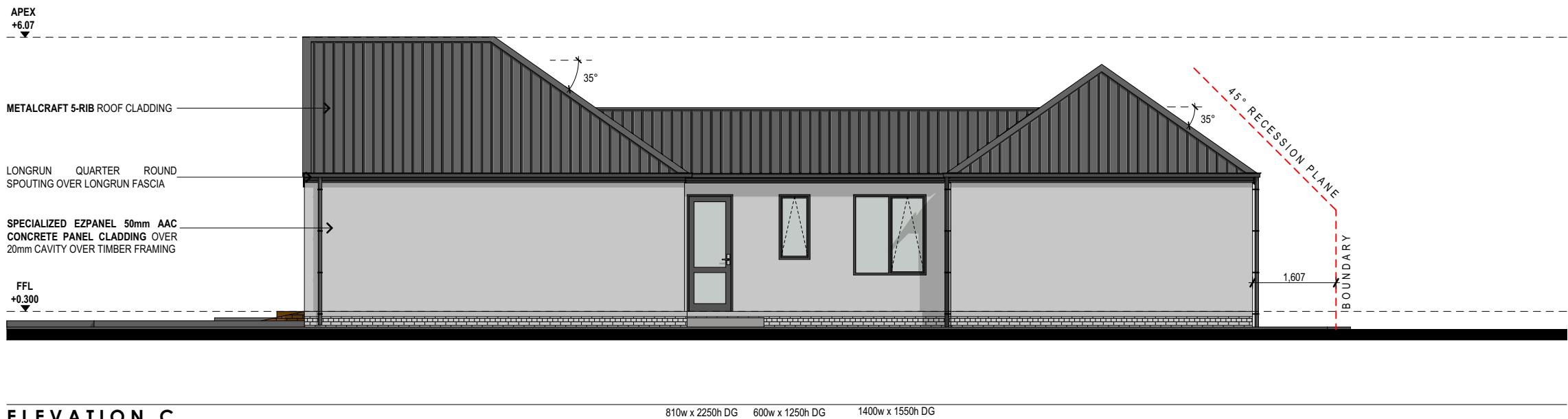
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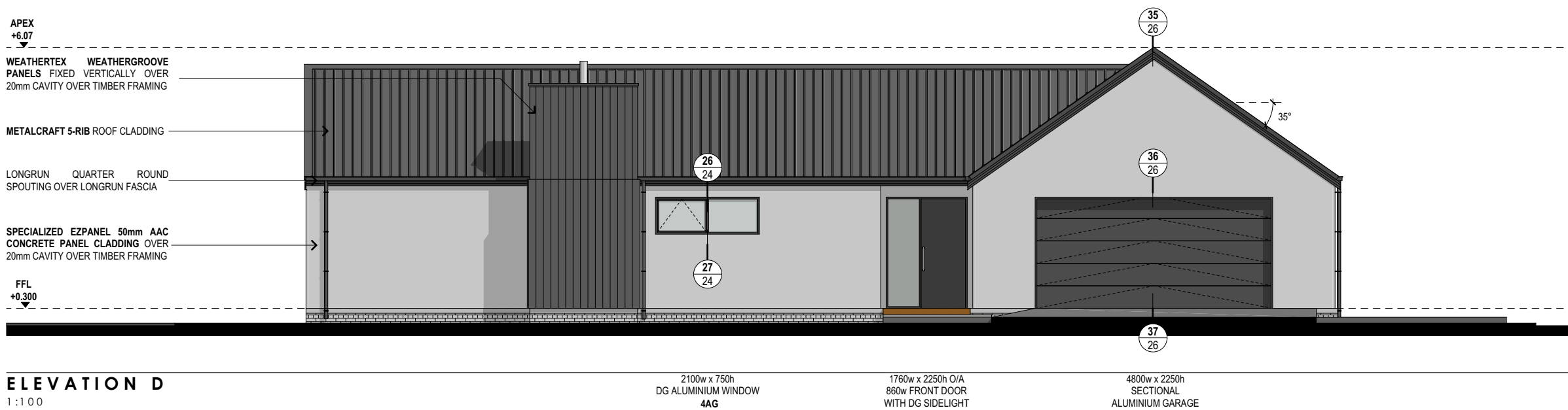
ELEVATION B

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ELEVATION C

1 : 1 0 0



ELEVATION D

1 : 1 0 0

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFI'S

WEATHERTEX CAVITY FIXED
WEATHERGROOVE PANEL SYSTEMS
IN COLOUR SELECTED BY OWNER.

NOTES

- Contractors are reminded to check all dimensions and detailing on site prior to commencing any work.
- All work shall comply with NZS 3604:2011, the New Zealand Building Code and all other relevant standards.
- All proprietary items and materials shall be fixed, installed or applied in strict accordance with the manufacturers recommendation and specification.
- Do not scale from drawings. All dimensions and site levels shall be confirmed on site prior to commencing any work.

SPECIALIZED EZPANEL 50mm ACC
CONCRETE PANEL CLADDING



DARK ALUMINIUM JOINERY
COLOUR TO BE CONFIRMED WITH OWNER



T-RIB
ROOF CLADDING



METALCRAFT QUARTER ROUND SPOUTING
COLOUR TO MATCH ROOF

KEY TO WINDOW AND DOOR GLAZING	
4AG	4MM ANNEALED GLASS
4TSG	4MM TOUGHENED SAFETY GLASS
ALL GLAZING SHALL BE IN ACCORDANCE WITH NZS 4223:PART 3 2016	

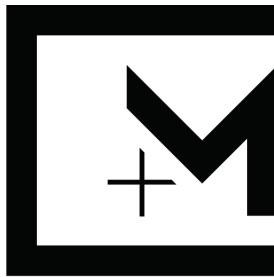
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DATE : 18-02-2022

PROJECT No: 21053

05

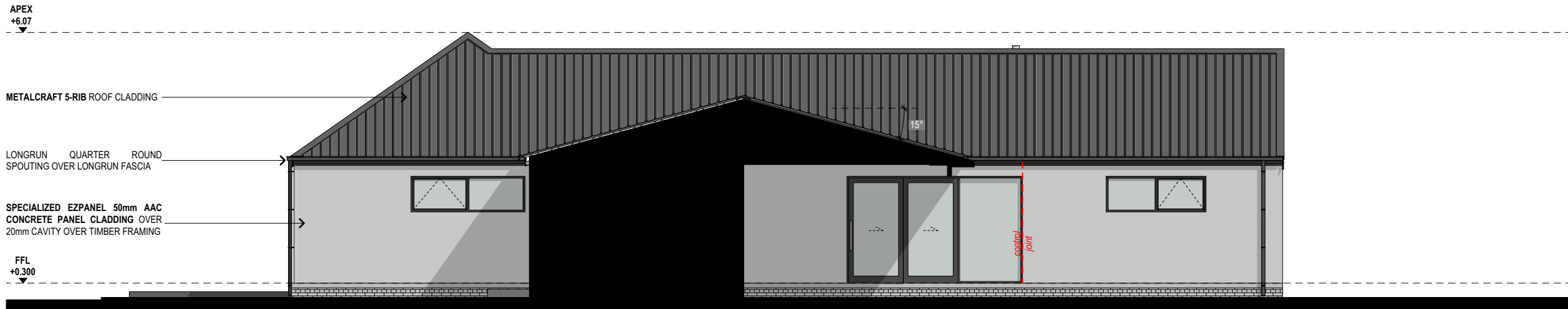
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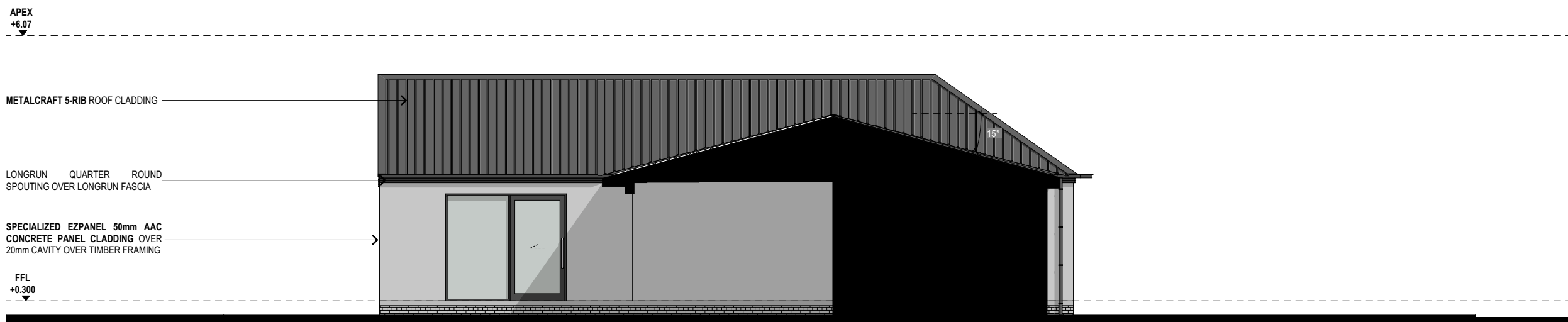
1:100

1:100

80x80x6 ANGLE
2400w x 750h DG
ALUMINIUM WINDOW
4AG

2800w x 2400h
DG ALUMINIUM STACKING
SLIDING DOOR
5TSG

2100w x 750h DG
ALUMINIUM WINDOW
4AG



1:100

1:100

2540w x 2250h DG
ALUMINIUM SLIDING
DOOR
5TSG

H1 SCHEDULED METHOD INPUTS:	
FLOOR AREA	182m ²
ZONE	3
NORTH ELEVATION: <i>Area of North wall.</i> <i>Area of glazing on North wall.</i> <i>Percentage of glazing on North wall.</i>	46.71m ² 13.05m ² 27.93%
EAST, SOUTH & WEST ELEVATIONS: <i>Area of East, South & West walls.</i> <i>Area of glazing on East, South & West walls.</i> <i>Percentage of glazing on East, South & West walls.</i>	176.13m ² 31.62m ² 17.9%
TOTAL ELEVATIONS: <i>Area of all walls.</i> <i>Area of glazing on all walls.</i> <i>Percentage of glazing on all walls.</i>	222.84m ² 44.67m ² 20%
SKYLIGHTS: <i>Total area of skylights.</i> <i>Percentage of total ceiling area</i>	0 0%
SCHEDULED METHOD COMPLIANCE: <i>Glazing area is less than 30% Skylight area is less than 1.2m² or less than 1.5% of total ceiling area</i>	COMPLIES COMPLIES

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFI'S

This proposal requires a resource consent. No building work is to be undertaken until the resource consent has been issued.

NOTES

- Do not scale from drawings. All dimensions and site levels shall be confirmed on site prior to commencing any work.

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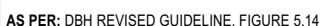
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AS PER ACCEPTABLE SOLUTION E2/AS1

FLEXIBLE CONNECTIONS



SEWER TO BE 100Ø uPVC LAID TO FALL 1:60
STORMWATER TO BE 100Ø uPVC LAID TO FALL 1:12

GENERAL NOTES

PLUMBER / DRAINLAYER

NOTE: DRAINAGE PLAN INDICATIVE ONLY DRAINLAYER MUST CONFIRM DRAINAGE LAYOUT BEFORE ANY WORK COMMENCES.

NOTE: PLUMBER TO CONFIRM PLUMBING LAYOUT AND DETERMINE LOCATION OF VENT REQUIREMENTS, BEFORE ANY WORK COMMENCES.

NOTE: ALL PLUMBING & DRAINAGE TO COMPLY WITH NZBC G13/AS1
- PROVIDE INSPECTION / RODDING POINTS FOR INTERNAL STACKS AND DOWNPIPES AT FOUNDATION LEVEL.

NOTE: WRAP PIPES THAT PENETRATE THROUGH THE FLOOR SLAB WITH FLEXIBLE SEAL & PROVIDE FLEXIBLE CONNECTION TO ALL DRAINS ADJACENT TO ORAT EDGE OF FOUNDATIONS. (TO BE LOCATED OUTSIDE THE BUILDING PLATFORM)

NOTE:ENSURE ALL WATER PIPES AND VENTS LOCATED OUTSIDE THERMAL ENVELOPE ARE COMPLIANT WITH NZBC G12/AS1,PARAGRAPH 7.2 PROTECTION FROM FREEZING.

NOTE: THAT FINAL GULLY (OVERFLOW) TRAP IS TO BE MIN 150mm BELOW LOWEST FIXTURE I.E SHOWER WASTE

BUILDER

NOTE: THE BUILDING MUST BE SET OUT TO "SETOUT DIMENSIONS SHOWN. A REGISTERED SURVEY MUST SET OUT THE BUILDING AND CONFIRM SETOUT DIMENSIONS AND HEIGHTS BEFORE CONSTRUCTION COMMENCES.

NOTE: SITE DIMENSION AND SITE LEVELS ARE SHOWN AS EXISTING.REFER TO SURVEYOR.

NOTE: ENSURE FINISHED FLOOR LEVEL IS A MINIMUM OF 225mm ABOVE FINISHED GROUND LEVEL AND 100mm ABOVE FINISHED PAVEL LEVEL.

NOTE: ALL IMPERVIOUS SURFACES TO HAVE 1:100 GRADIENT FALL TO NEAREST GARDEN/LAWN AREA

NOTE: CONSULT OWNER FOR ELECTRICAL / LIGHTING REQUIREMENTS PRIOR TO CONSTRUCTION FOR LOCATION OF IN-SLAB WIRING (IF ANY) ETC.

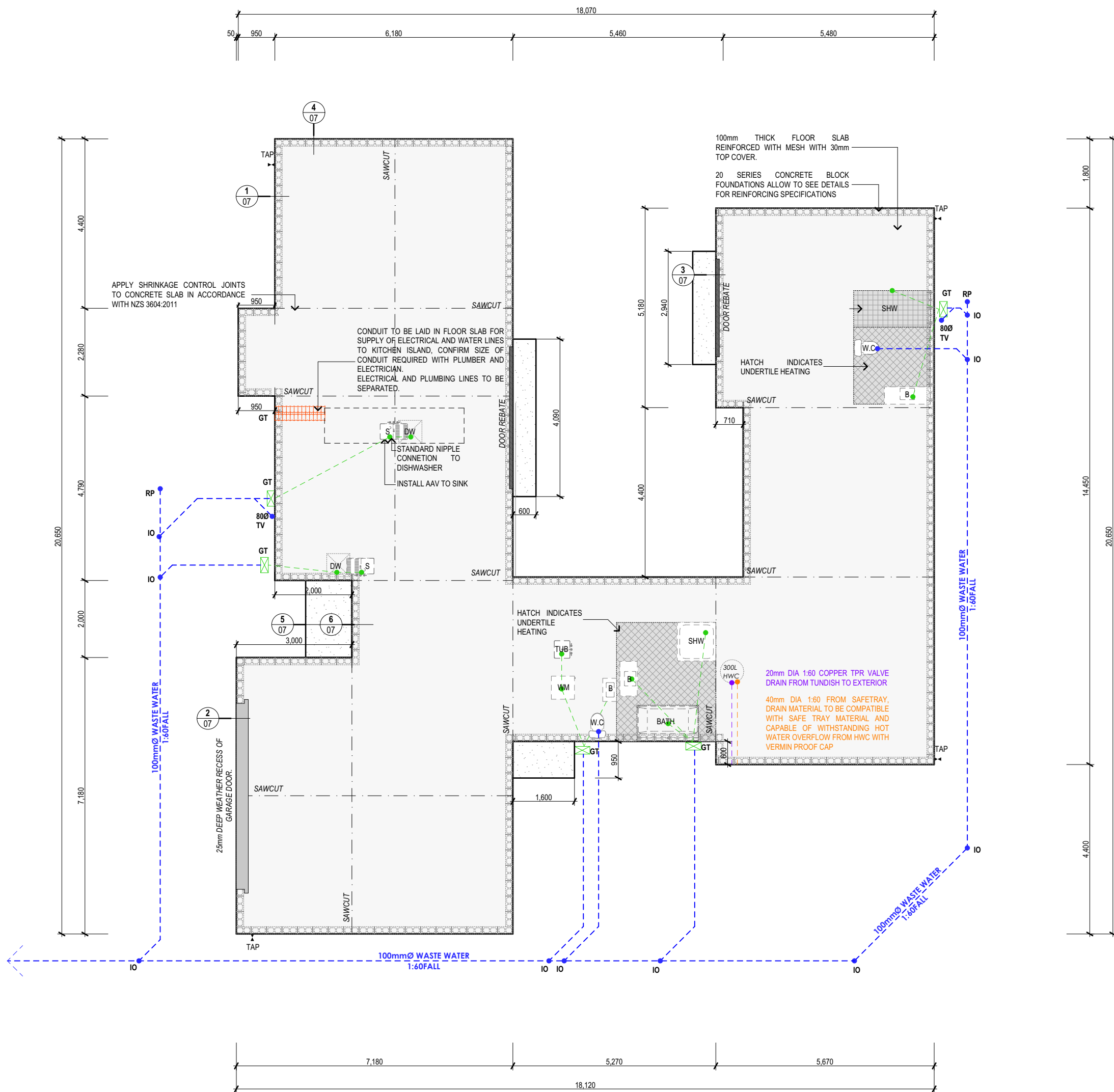
NOTE: REBATE CONCRETE SLAB TO ALLOW FOR DOOR AND REVEALS AT FLOOR LEVEL WHERE SHOWN. REFER TO DETAILS.

HARDFILL: HARDFILL SHALL COMPLY WITH NZS 3604 7.5.3

COVER TO REINFORCING: THE COVER THE THE FOUNDATION REINFORCEMENT SHALL BE 75mm AGAINST GROUND, 50mm AGAINST FORMWORK & 30mm COVER TO MESH.

NOTE: REFER TO OWNER SUPPLIED KITCHEN & PANTRY DESIGN BEFORE CONSTRUCTION COMMENCES TO CONFIRM FIT OUT

SCALE 1:100



NOTES

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SCALE :	1:10 @ A2
DATE :	18-02-2022
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Document Set ID: 683153
Version: 1, Version Date: 04/11/2023



FOUNDATION DETAIL
1:10



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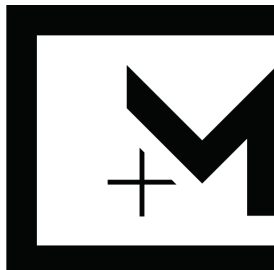
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SCALE :	1:100 @ A2
DATE :	18-02-2022
PROJECT No:	21053

08

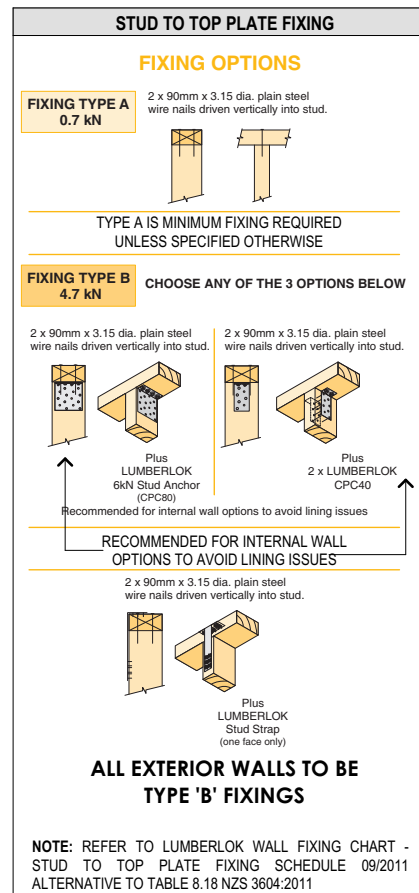
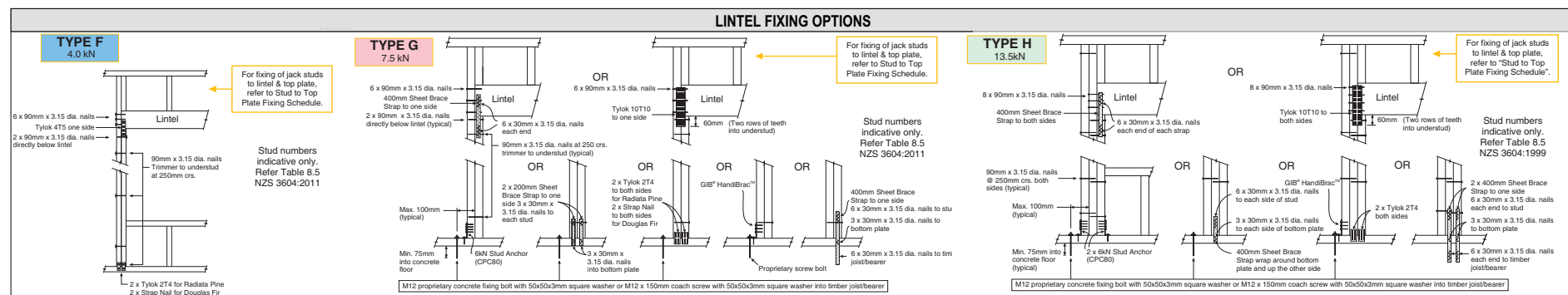
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KEY TO BRACING PLAN	
GS1-N	10mm GIB STANDARD PLASTERBOARD ONE FACE FIXED HORIZONTAL OR VERTICAL.
EPBS	7mm ECOPLY PLYWOOD ON ONE SIDE.
BL1-H	10mm GIB STANDARD PLASTERBOARD ONE FACE WITH HOLD DOWNS

ALL BRACING ELEMENTS SHALL BE INSTALLED STRICTLY
IN ACCORDANCE WITH THE MANUFACTURERS
SPECIFICATIONS.

PROVIDE DOUBLE STUDS AS SUPPORT FOR ALL BEAMS
AND LINTELS
(UNLESS SHOWN OTHERWISE)

ALL STRUCTURALLY ENGINEERED TIMBER MEMBERS
OUTSIDE THE SCOPE OF NZS 3604:2011 ARE TO BE SGB
TIMBER OR BETTER UNLESS OTHERWISE STATED

LINTEL FIXING DETAILS SUPPLIED IN THE APPENDIX TO
SPECIFICATION

KEY TO BRACING PLAN

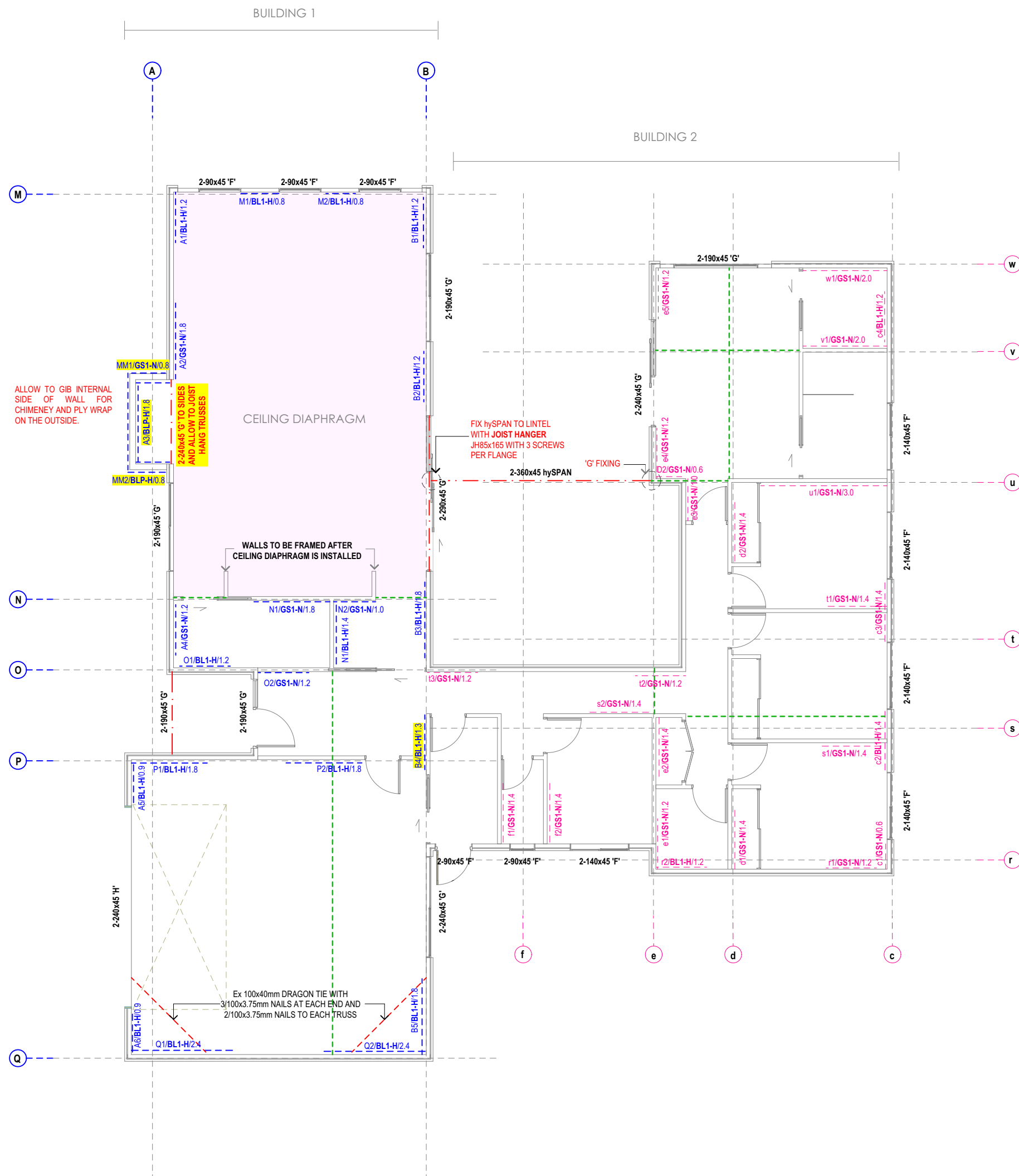
↓ — BRACING NUMBER
A1/BL1-H/3.5 ← BRACING LENGTH
↑ — BRACING TYPE

LUMBERLOK LINTEL FIXINGS	
2-240x45 'G' ←	DENOTES LUMBERLOK LINTEL FIXING TYPE. REFER TO THE SPECIFICATION FOR FURTHER DETAILS
ALL LINTELS TO BE CHECKED WITH TRUSS DESIGN	

NOTE:

140x35mm PLATE IN BATTEN SPACE,
CONNECTED TO TRUSS WITH 2x8g SCREWS OR
BLOCKING @900mm CRS CONNECTED TO TOP
PLATE OF BRACING WALL WITH 2x 6KN STRAPS
(CAPACITY 12KN TOTAL) ALL TOP PLATES IN
LINE WITH PLATE TO HAVE 12KN CONNECTIONS
WHERE SPICED

SCALE 1:100



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Consent Documents

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Ashburton District Council

BRACING DETAILS

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DATE : 18-02-2022
PROJECT No: 21053

09

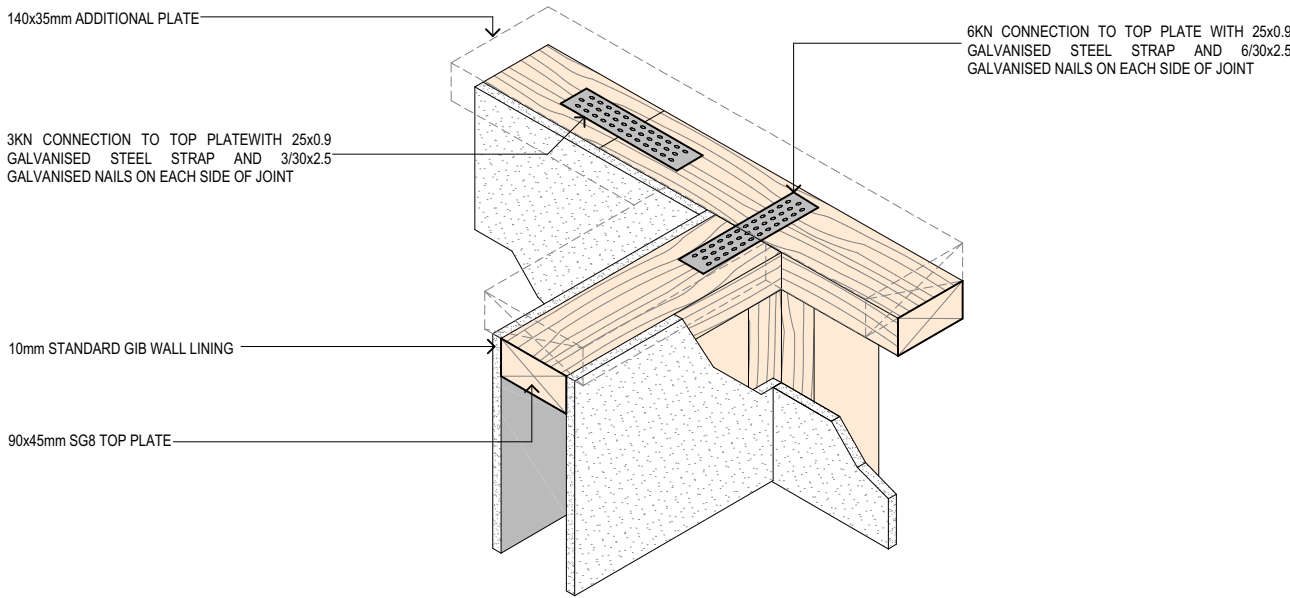
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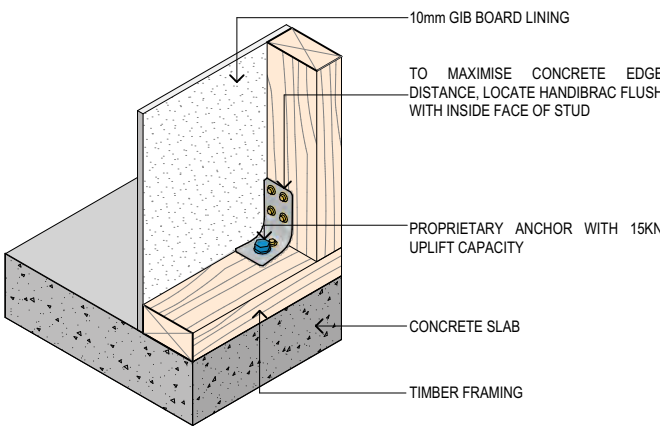
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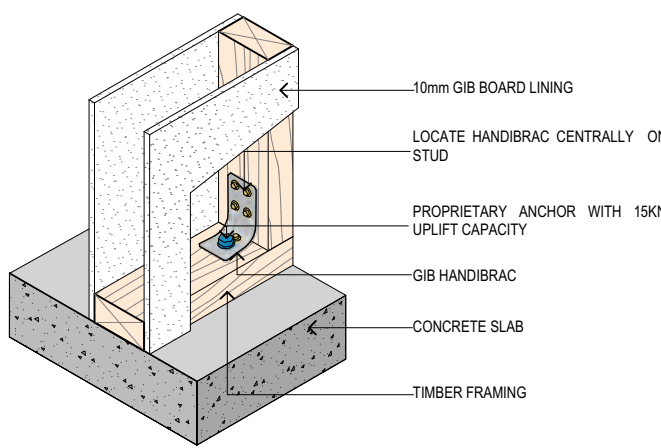
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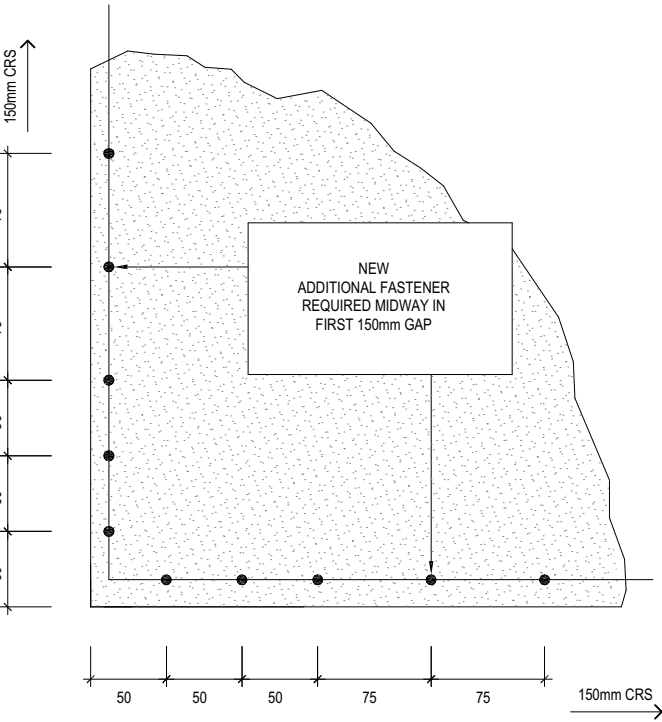
CONNECTION OF TOP PLATES FOR WALL
CONTAINING BRACING ELEMENTS



BRACING PANEL HOLD DOWN
HANDIBRAC EXTERNAL WALL

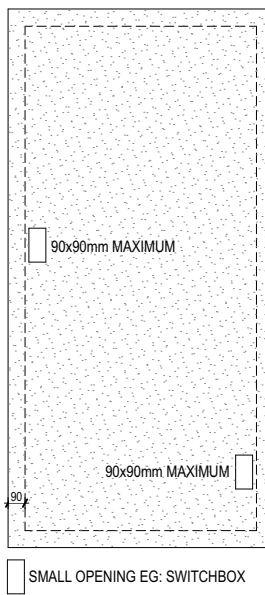
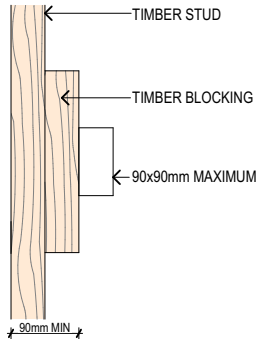


BRACING PANEL HOLD DOWN
HANDIBRAC INTERNAL WALL

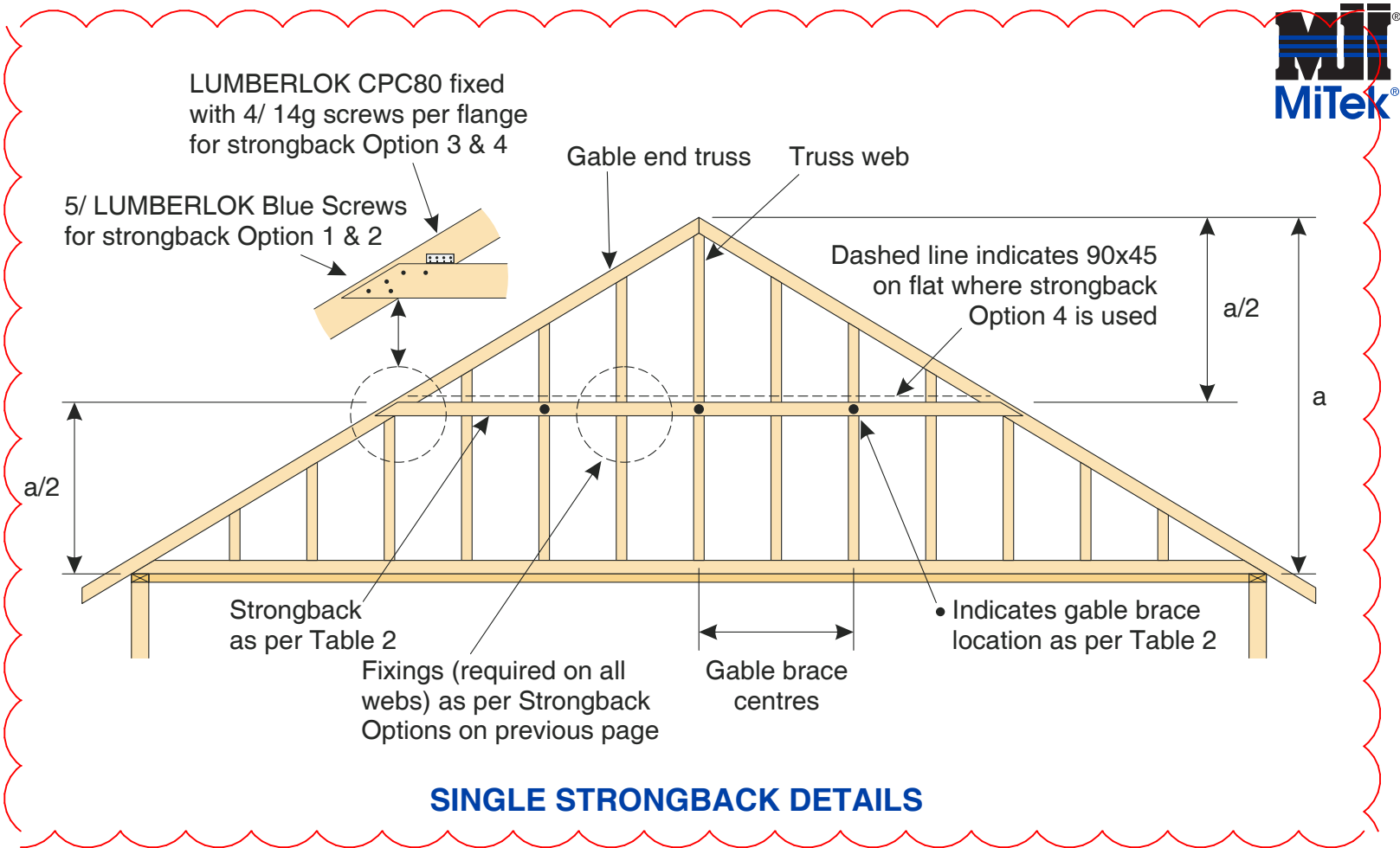


FASTENERS:
MINIMUM 32mmx6G GIB @ GRABBER® SCREWS (30x2.8 GIB @ NAILS FOR GS SYSTEMS ONLY)

GIB BRACING ELEMENT EDGE FASTENING



OPENINGS IN BRACING ELEMENTS



SINGLE STRONGBACK DETAILS

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B	01-11-2021	WORKING DRAWINGS
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Approved Building
Consent Documents

BC0734/21

Ashburton District Council

ROOF AND DRAINAGE PLAN

SCALE : 1:100 @ A2
DATE : 18-02-2022
PROJECT No: 21053

10 C



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GUTTER CALCULATIONS
MAXIMUM ROOF AREA SERVED BY SINGLE LENGTH OF GUTTER = 49.4m ²
ROOF PITCH = 30° & 2"

DOWNPIPE CALCULATIONS
SPOUTING CROSS-SECTIONAL AREA = 6850mm ²

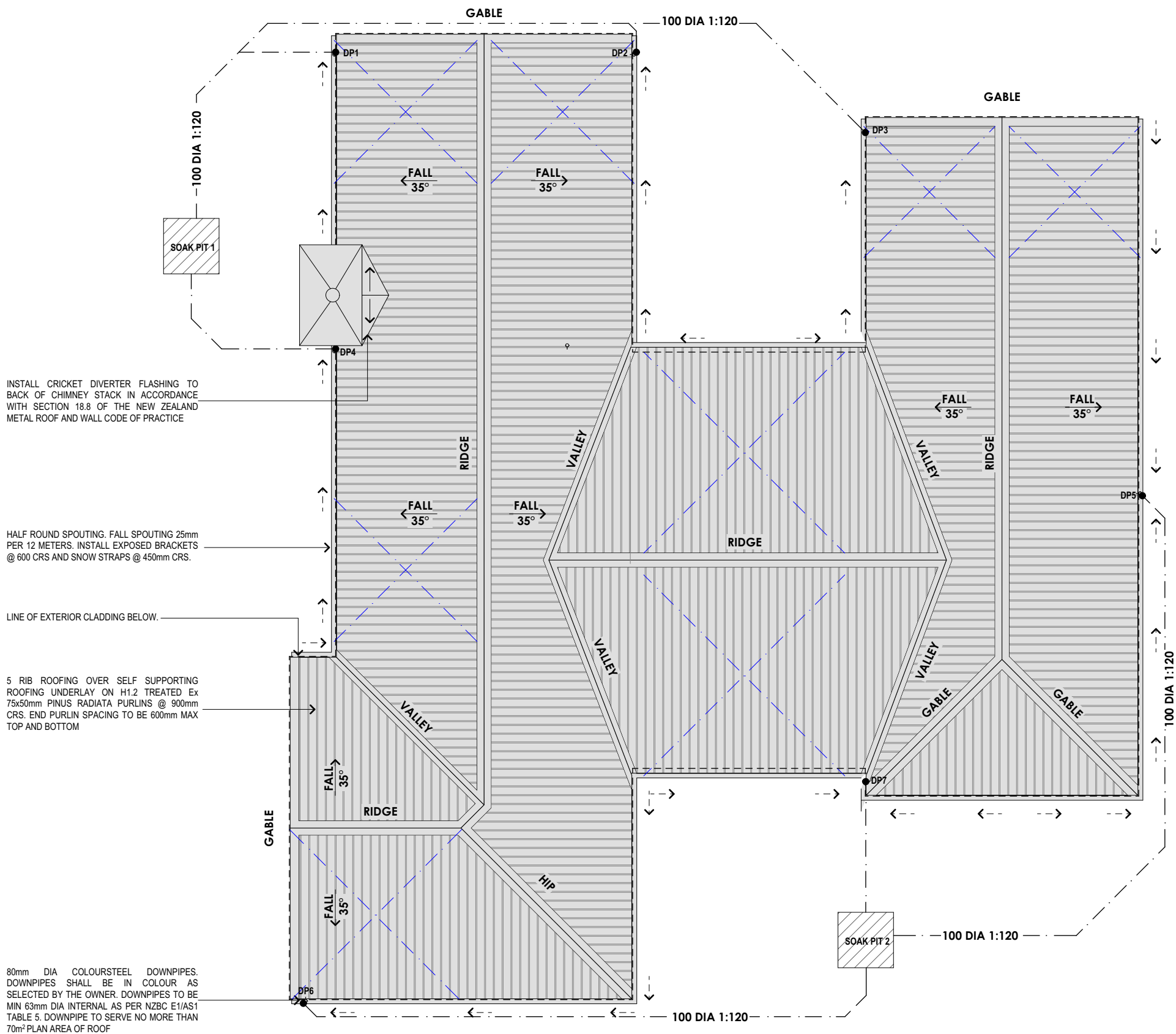
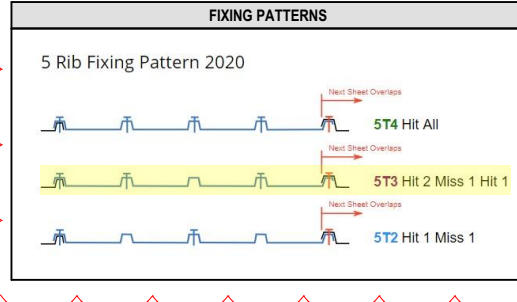
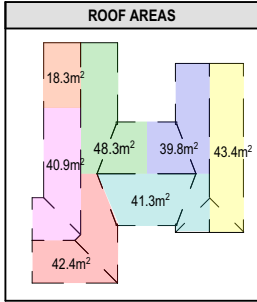
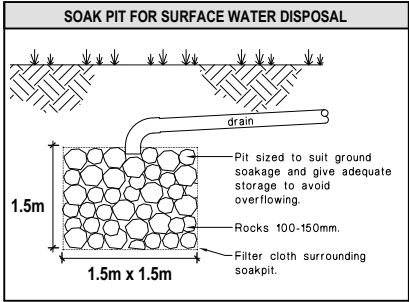
LUMBERLOK ROOF PLANE BRACING
LUMBERLOK STRIP BRACING FIXED WITH 0v 30x3.15 NAILS EACH END (AFTER TENSIONING BRACES) AND 2 x NAIL AT TRUSS OR RAFTER.

LUMBERLOK PURLIN FIXING DETAILS
REFER TO THE SPECIFICATION FOR FURTHER INFORMATION ON LUMBERLOK PURLIN FIXING. INSTALLATION DETAILS, FIXINGS SHALL BE TYPE 'C'. 1- 80mm x 10 GAUGE LUMBERLOK BLUE SCREW PURLIN TO TOP CHORD OF TRUSS. 1- 150mm x 10 GAUGE PURLIN SCREW FOR PURLINS ON THEIR EDGE TO TOP CHORD OF TRUSS.

BEDDING & BACKFILL
(a) Cover greater than 500 mm Bedding type 'B' of NZS 4452
(b) Cover greater than 375 mm Bedding type 'D' of NZS 4452
(c) Cover greater than 125 mm
NOTE: FILL SHALL BE -ORDINARY WHERE DRAINS ARE LOCATED BELOW GARDENS AND OPEN COUNTRY -COMPACTED SELECTED FILL WHERE THE DRAINS ARE LOCATED BELOW RESIDENTIAL DRIVEWAYS AND SIMILAR AREAS SUBJECTED TO LIGHT TRAFFIC

GENERAL NOTES
FLASHINGS FOR ROOF PENETRATIONS (EG: VENTS AND THE LIKE) SHALL BE BY THE PLUMBER, PREFINISHED TO MATCH THE ROOF COLOUR WHEREVER POSSIBLE, OR OTHERWISE TOUCHED UP TO MATCH ROOF COLOUR. NOTE: ALL ROOFING WORK SHALL BE CARRIED OUT BY APPROVED ROOFING CONTRACTORS AND MATERIALS SHALL BE FIXED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. NOTE: AS PER E1/AS1 PARAGRAPH, 3.9.7 PROXIMITY OF TRENCH TO BUILDING: - FOR LIGHT TIMBER FRAME AND CONCRETE MASONRY BUILDINGS CONSTRUCTED TO NZS 3604 OR NZS 4229 IN ACCORDANCE WITH B1/AS1, PIPE TRENCHES WHICH ARE OPEN FOR NO LONGER THAN 48 HOURS SHALL BE LOCATED NO CLOSER THAN DISTANCE V (SEE E1/AS1 FIG.14) TO THE UNDERSIDE OF ANY BUILDING FOUNDATION.WHERE THE TRENCH IS TO REMAIN OPEN FOR PERIODS OF LONGER THAN 48 HOURS, THE MINIMUM HORIZONTAL SEPARATION SHALL INCREASE TO 3V IN ALL GROUND EXCEPT ROCK.

SOAK PIT CALCULATIONS: ACCEPTABLE ALTERNATIVE SOLUTION FORM ADC
60m ² OF ROOF = 1.5 m ³ OF SOAK PIT
SOAK PIT 1: ROOF & HARD SURFACE COLLECTION AREA: 147.3m ² SOAK PIT SIZE: COLLECTION AREA x 1.5m ³ OF SOAK PIT / 60m OF ROOF 147.3m ² x1.5m ³ /60m ² = 3.68m ³ ROUNDED = 4 m ³ PROPOSED SOAK PIT: (AxB)x(C = 1.5 x 1.5 x 2.0m DEEP = 4.5m ³
SOAK PIT 2: ROOF & HARD SURFACE COLLECTION AREA: 197.1m ² SOAK PIT SIZE: COLLECTION AREA x 1.5m ³ OF SOAK PIT / 60m OF ROOF 197.1m ² x1.5m ³ /60m ² = 4.92m ³ ROUNDED = 5 m ³ PROPOSED SOAK PIT: (AxB)x(C = 1.8 x 1.8 x 1.8m DEEP = 5.8m ³



ROOF AND DRAINAGE PLAN

SCALE 1:100

A	08-08-2021	PRELIMS
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Approved Building
Consent Documents

BC0734/21

Ashburton District Council

ELECTRICAL AND
LIGHTING PLAN

SCALE : 1:100 @ A2
DATE : 18-02-2022
PROJECT No: 21053

11 C



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KEY TO ELECTRICAL PLAN

LIGHT SWITCH

LIGHT SWITCH WITH DIMMER

LIGHT SWITCH 2 WAY CIRCUIT

DOUBLE POWERPOINT

DOUBLE POWERPOINT RCD (WET AREA) ABOVE BENCH

DOUBLE POWERPOINT ABOVE BENCH

EXTERIOR POWER POINT

INSINKERATOR

TV CONNECTION WITH SKY TV OUTLET

HEATED TOWEL RAIL

MIRROR DEMISTER

FRIDGE / FREEZER

RANGEHOOD

OVEN

COOKTOP

MICROWAVE

DISHWASHER

PHONE

INTERNET CONNECTION (BROADBAND)

HOT WATER CYLINDER

WASHING MACHINE

DRYER

SINGLE RECESSED CA RATED LED DOWNLIGHT

SINGLE RECESSED CA + IP RATED LED DOWNLIGHT

SINGLE RECESSED SOFFIT MOUNTED LIGHT

LED BEAM SPOTS

MOTION SENSOR LIGHT

IN-WALL MOTION SENSOR

RECESSED CEILING MOTION SENSOR

SURFACE MOUNTED SLIMLINE LED STRIP LIGHT

WALL MOUNTED FLOUESCENT LIGHT ABOVE MIRROR

EXTERIOR WALL MOUNTED LIGHT

RECESSED LOW LEVEL LED WALL LIGHT (ON SENSOR)

CONTINUOUS LED STRIP LIGHT

GARAGE DOOR OPENER

HEAT PUMP

METERBOARD

SWITCHBOARD

WIRING CURCUIT

SELECTED HANGING LIGHT AND SHADE

OWNER SUPPLIED CEILING FAN

ELECTRIC UNDERTILE HEATING COMPLETE WITH IN ROOM CONTORLLER / THERMOSTAT

VENTECH INLINE FAN WITH EXTERNAL GRILL, COMPLETE WITH VFG 250 INTERNAL FRAMELESS EXTRACT GRILL

CEILING MOUNTED DOMESTIC SMOKE DETECTOR WITH FUSH FACILITY

GENERAL NOTES:

NOTE:
THE DOWNLIGHTS SHALL BE ONE OF THE FOLLOWING, IC, IC-F, CA80 OR CA135.

NOTE:
ALL POWER OUTLETS TO ALIGN DIRECTLY BELOW SWITCH PLATES AND VERTICALLY ACROSS ROOMS. ALL SWITCH PLATES TO BE AT CONSTANT LEVEL.

NOTE:
ALLOW TO CO-OPERATE WITH THE OWNER SUPPLIED KITCHEN FOR FINAL LIGHTING & POWER OUTLETS.



ELECTRICAL & LIGHTING PLAN

SCALE 1:100

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FLOOR COVERINGS-
REFLECTED CEILING
PLAN

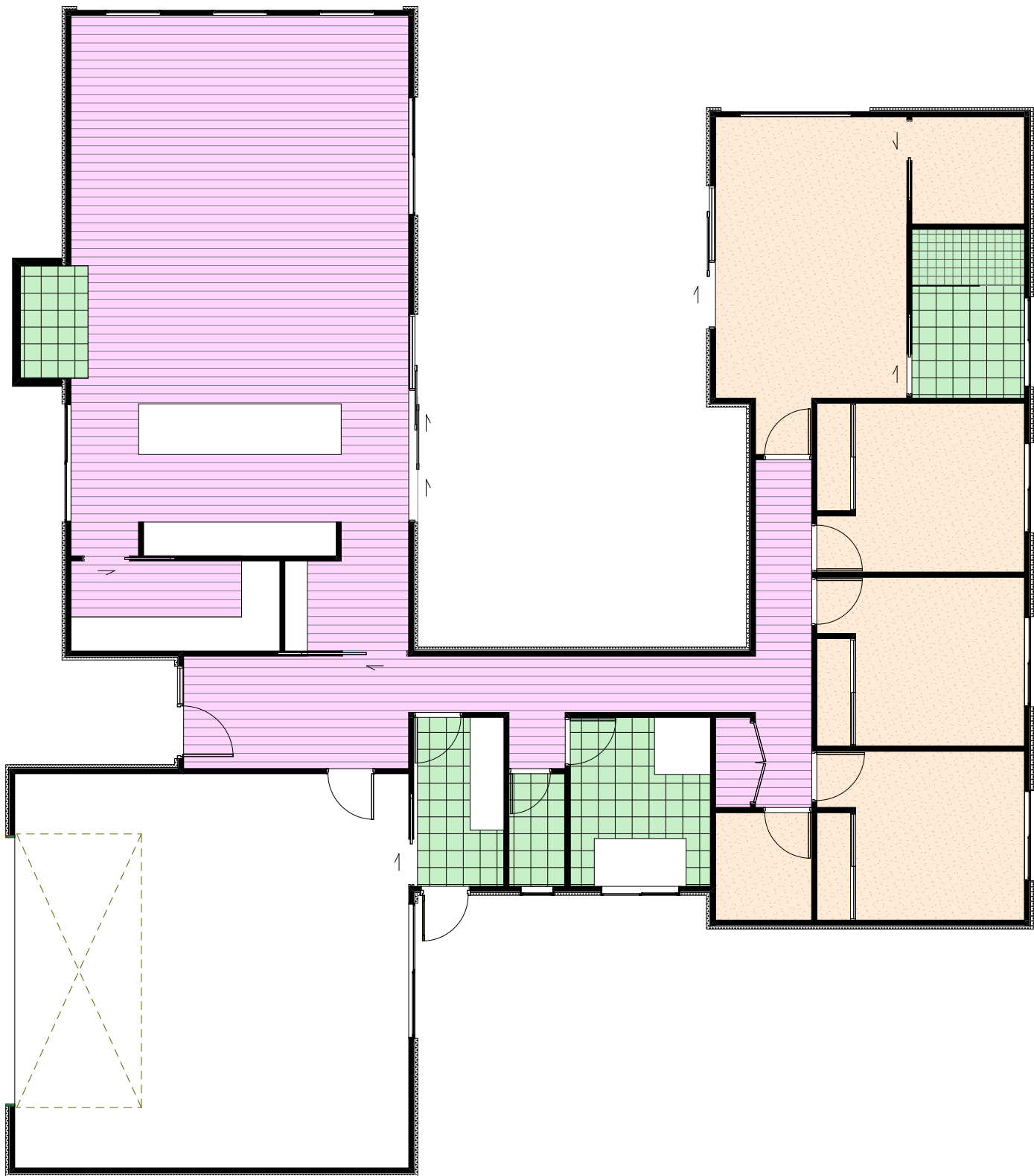
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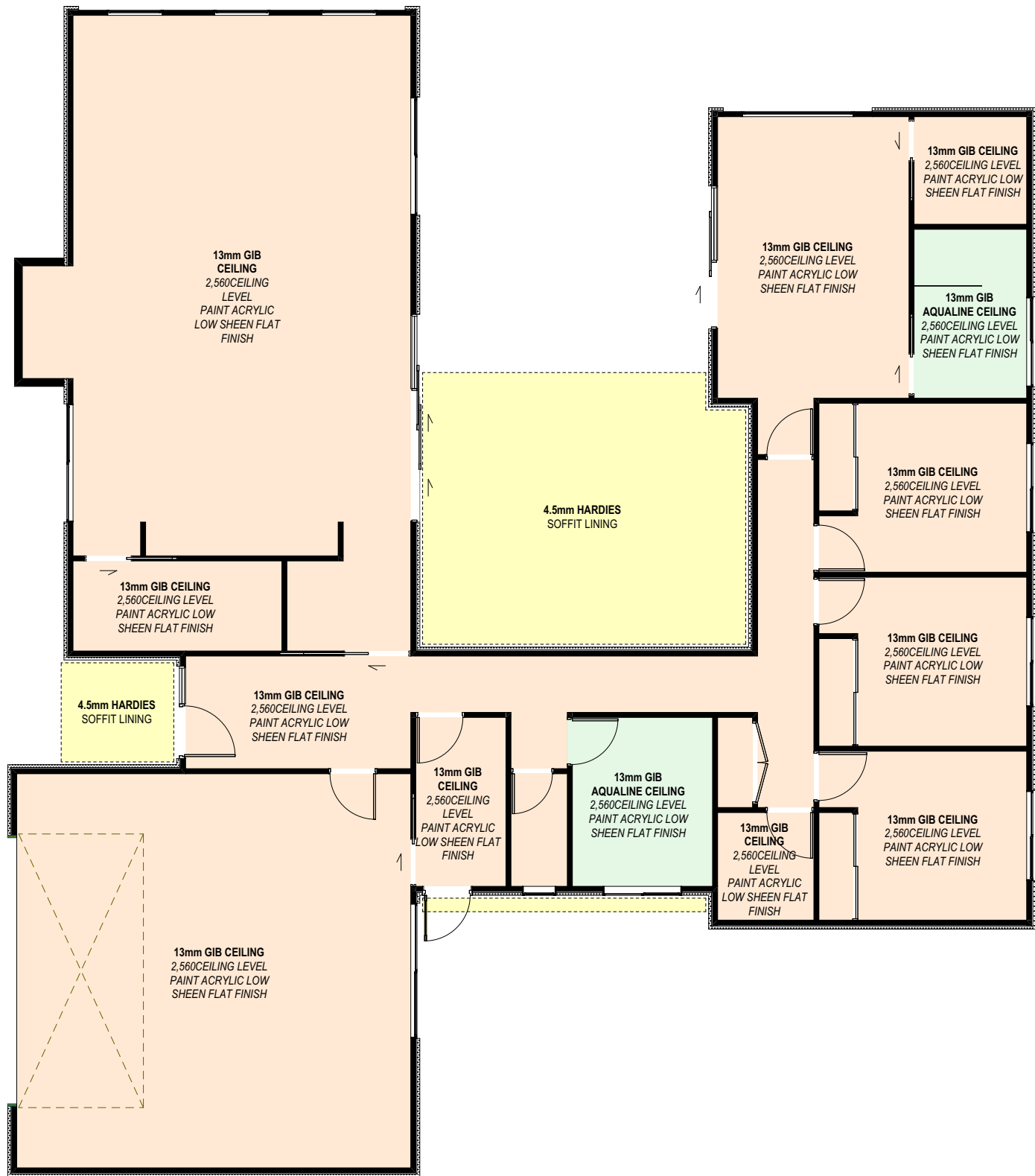
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KEY TO FLOOR COVERINGS	
	CARPET AS SELECTED BY THE OWNER AND SHALL BE INSTALLED WITH UNDERLAY IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
	VINYL FLOOR PLANKING SELECTED BY OWNER AND SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES BY EXPERIENCED TRADESMAN.
	SELECTED FLOOR TILES AS SELECTED BY THE OWNER. INSTALLED STRICTLY IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES BY EXPERIENCED TRADESMAN. CONFIRM COLOUR OF GROUT WITH OWNER PRIOR TO INSTALLATION.
NOTES:	
- ALL TILE PATTERNS SHALL BE CONFIRMED WITH THE OWNER PRIOR TO ORDERING TILES.	
- TILES BEING LAID TO SHOWER AND SPLASH AREAS (IE BASIN AND BATH) SHALL BE FULLY WATERPROOFED PRIOR TO ANY TILES BEING LAID.	

FLOOR COVERINGS PLAN

SCALE 1:100



REFLECTED CEILING PLAN

SCALE 1:100

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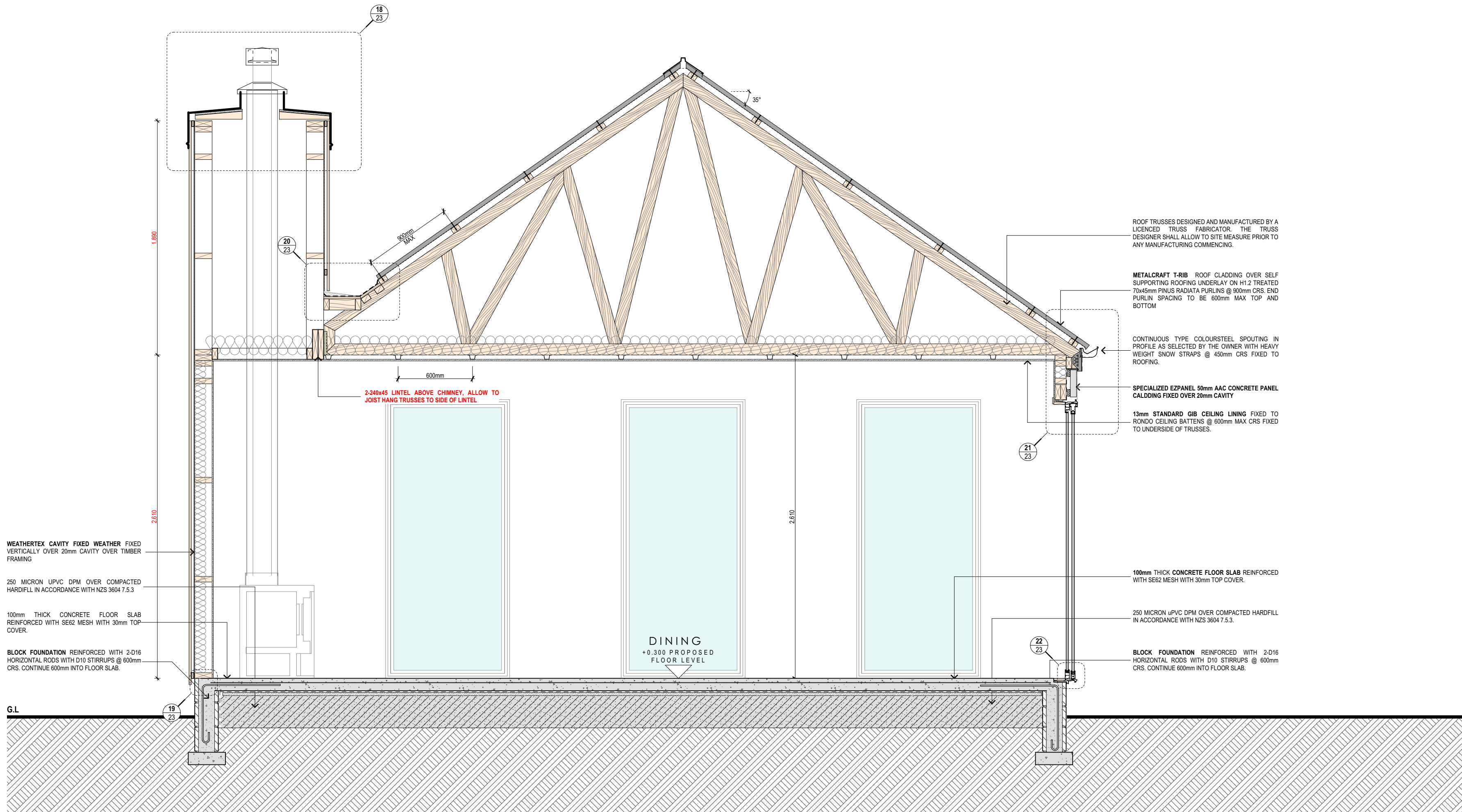
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Approved Building
Consent Documents

BC0734/21

Ashburton District Council



CROSS SECTION A

1:25

CROSS SECTION A

SCALE : 1:25 @ A2
DATE : 18-02-2022
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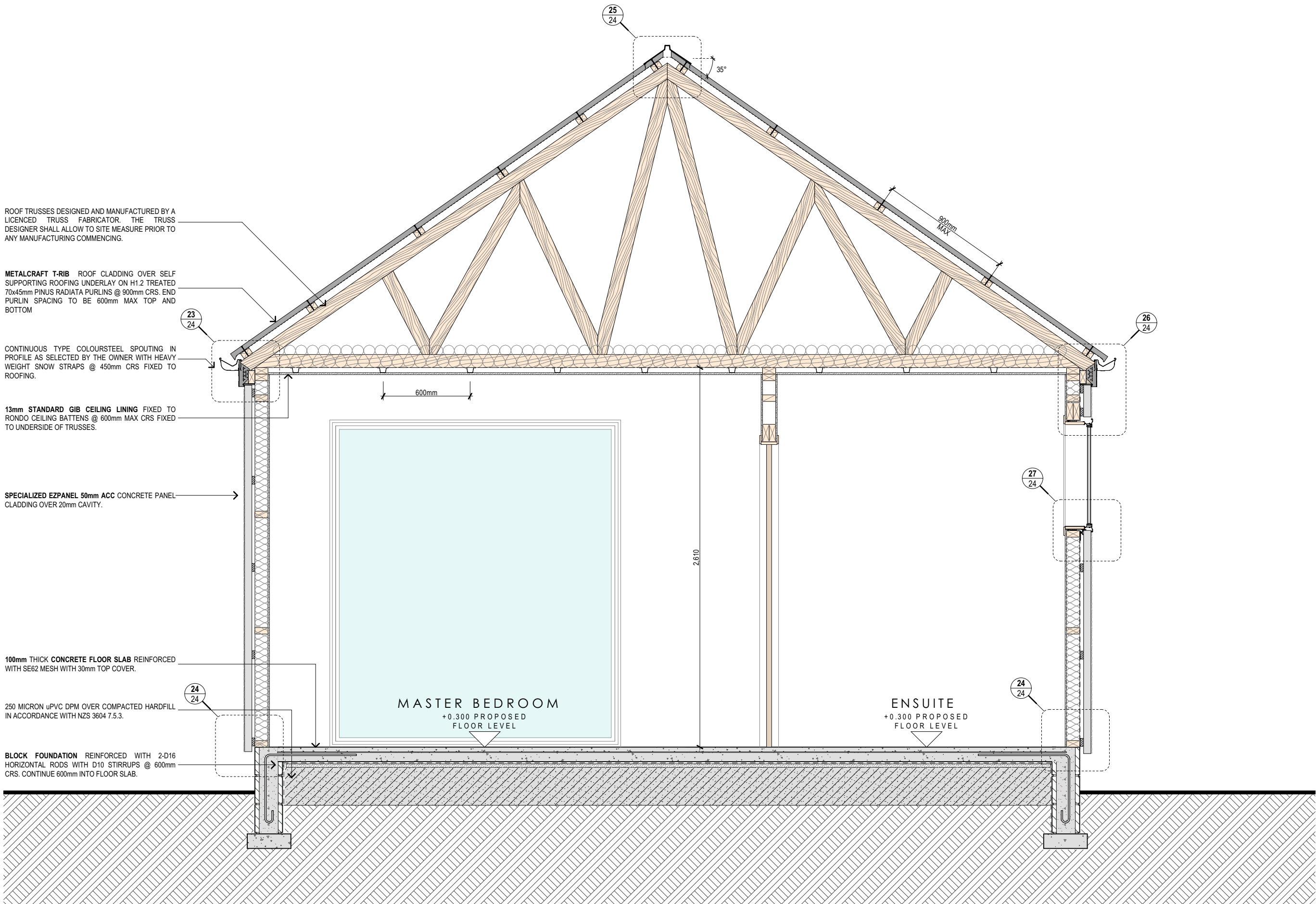
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Consent Documents

BC0734/21

Ashburton District Council



CROSS SECTION A CONTINUED

1:25

CROSS SECTION A
CONTINUED

SCALE : 1:25 @ A2
DATE : 18-02-2022
PROJECT No: 21053

14 C



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A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RIFS

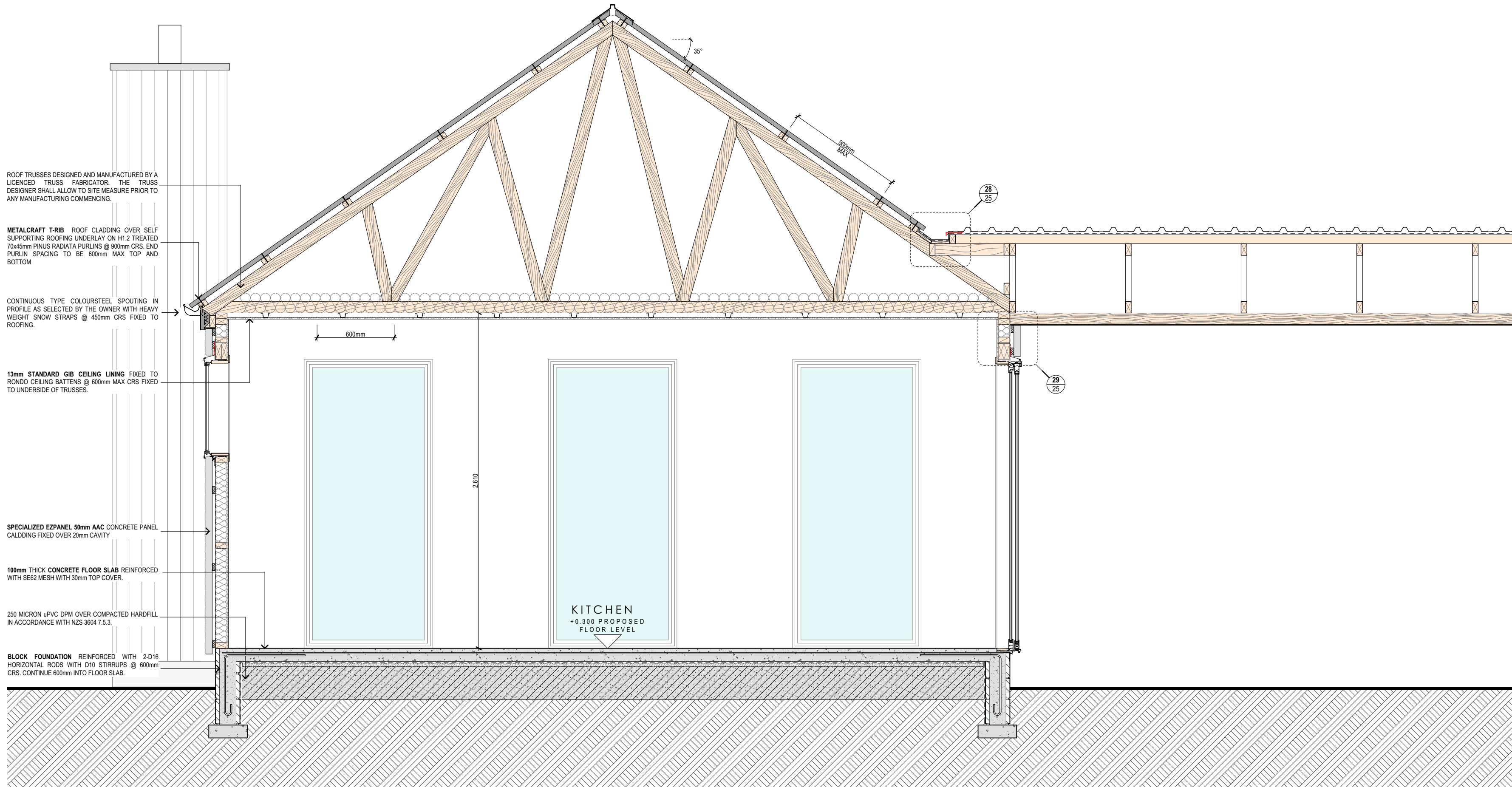
NOTES

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Consent Documents

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Ashburton District Council



CROSS SECTION B
1:25

CROSS SECTION B

SCALE : 1:25 @ A2
DATE : 18-02-2022
PROJECT No: 21053

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BC0734/21

Ashburton District Council

CROSS SECTION B
CONTINUED

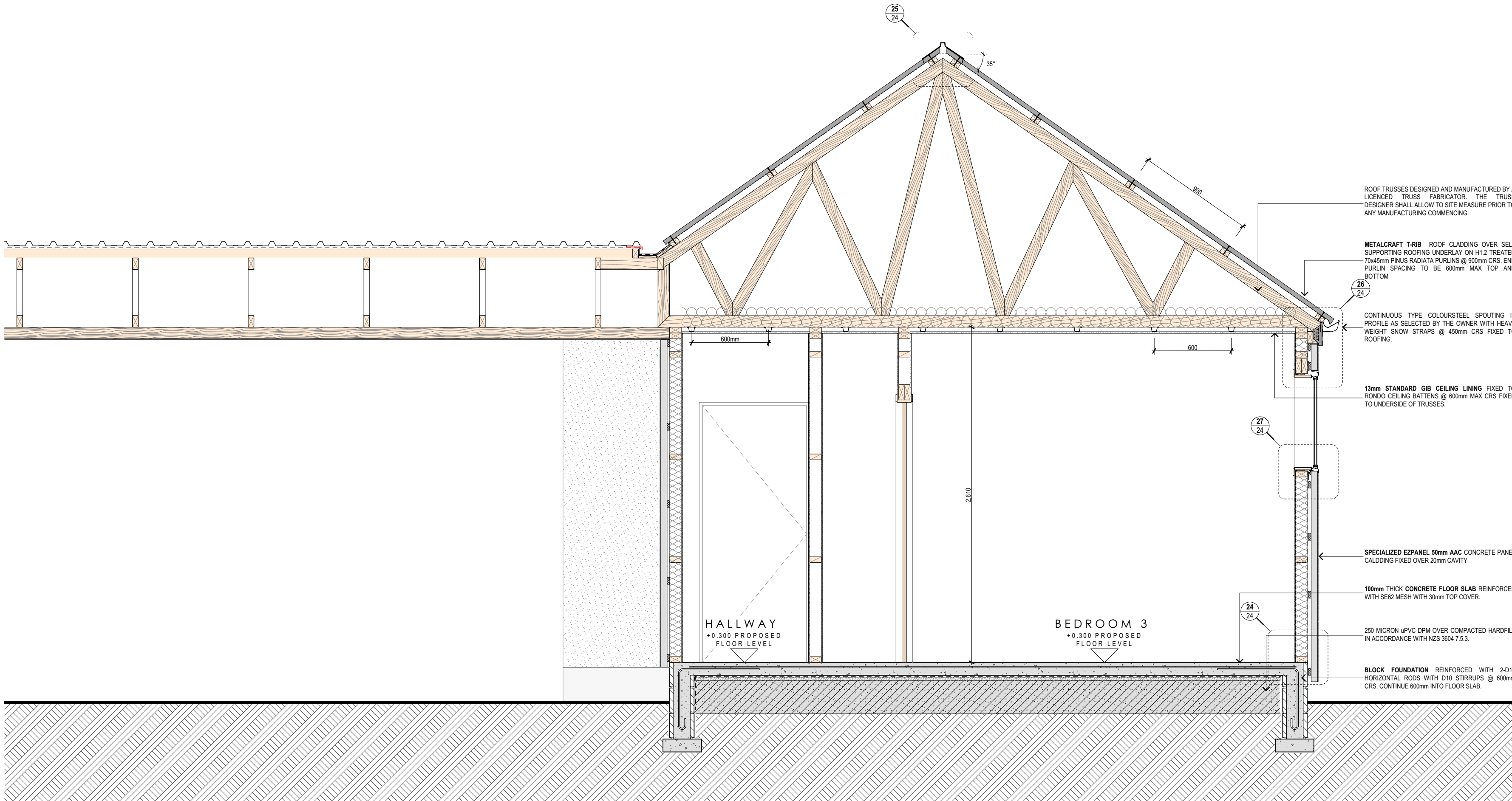
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DATE : 18-02-2022
PROJECT No: 21053

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CROSS SECTION B CONTINUED

1:25

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B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFFS

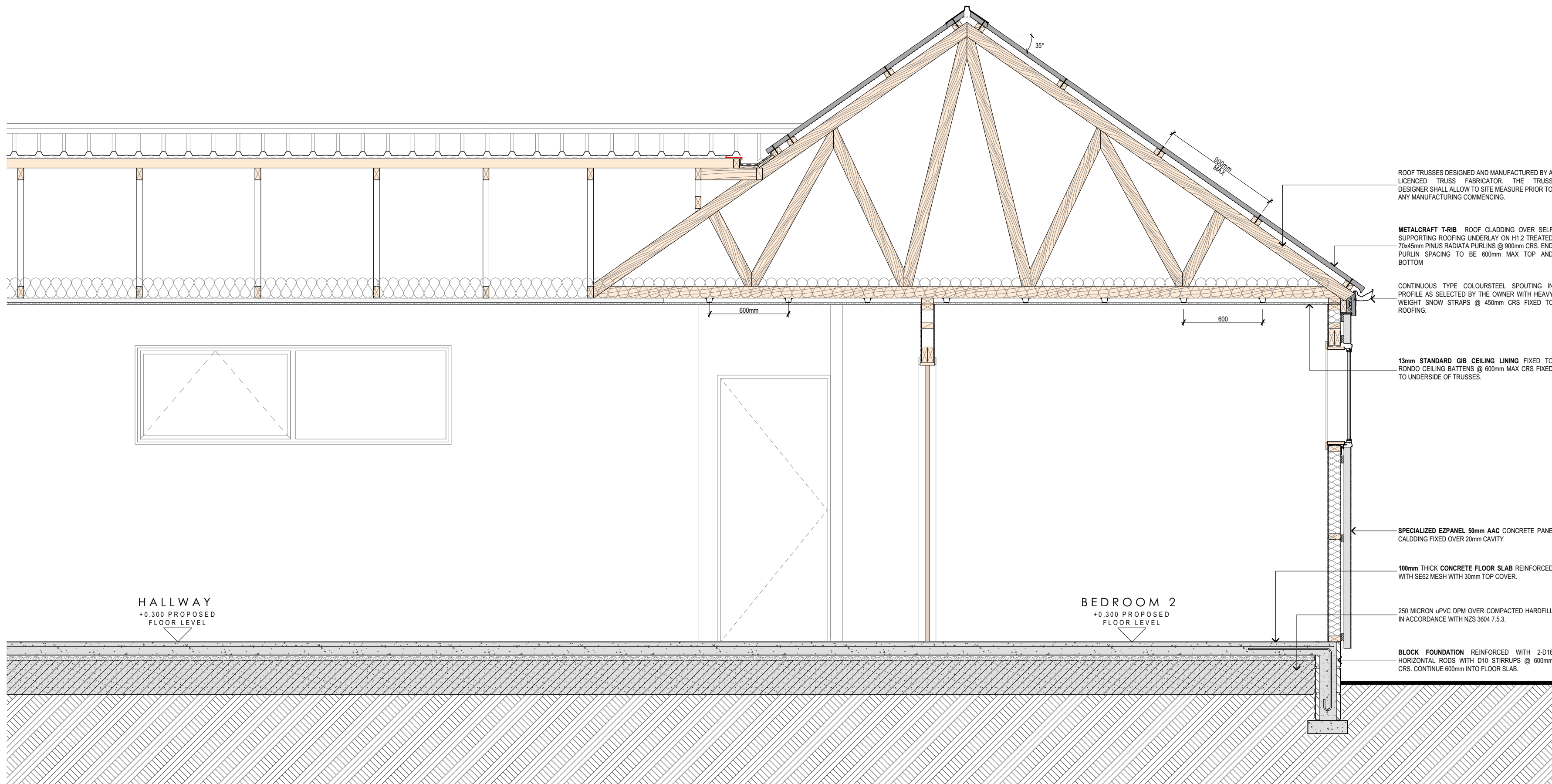
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CROSS SECTION C CONTINUED

1/25

CROSS SECTION C
CONTINUED

SCALE : 1:25 @ A2
DATE : 18-02-2022
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18 C



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A	08-08-2021	PRELIMS
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C	18-02-2022	RFFS

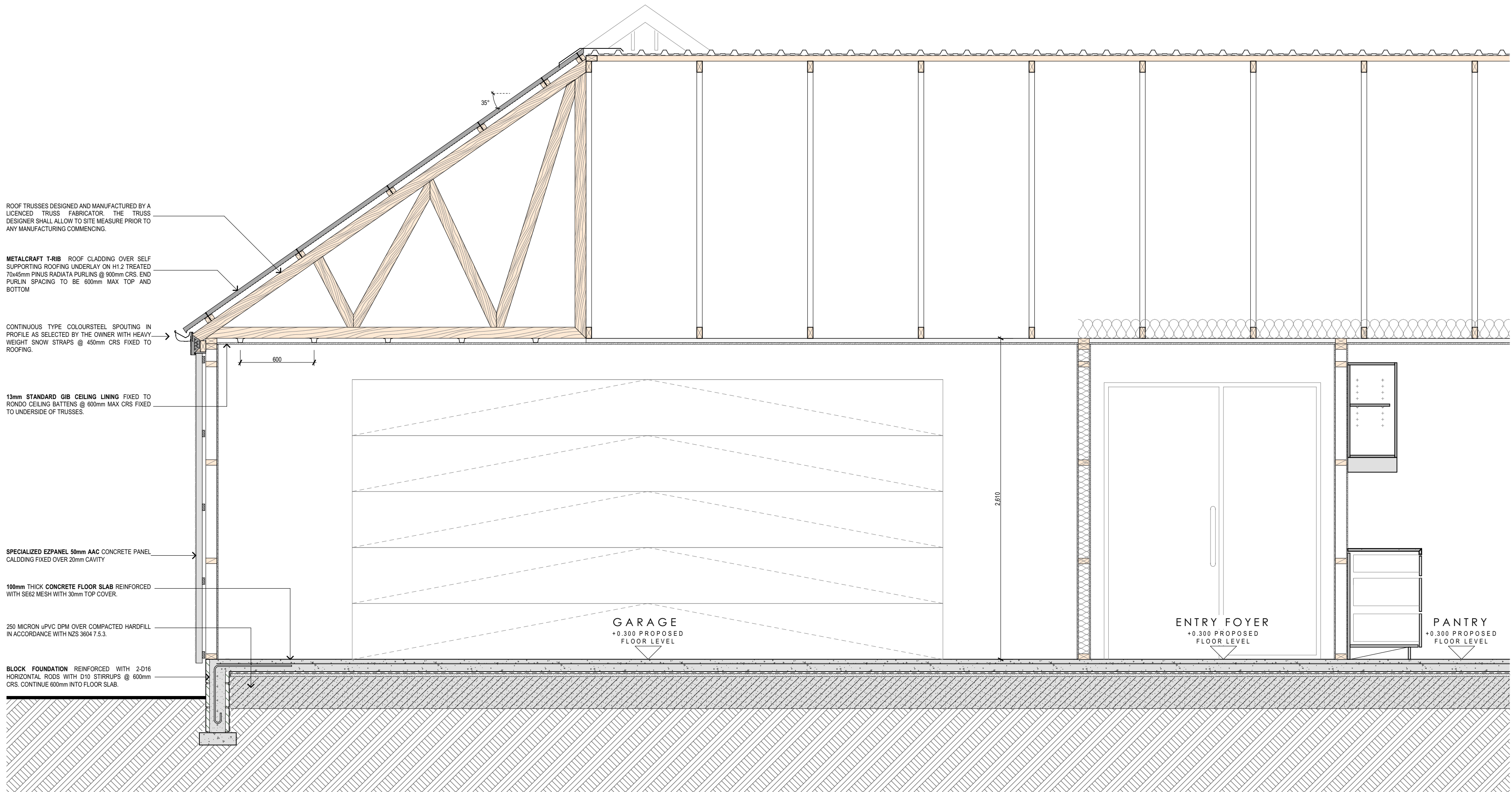
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CROSS SECTION D

1/25

CROSS SECTION D

SCALE : 1:25 @ A2
DATE : 18-02-2022
PROJECT No: 21053

19 C



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A	08-08-2021	PRELIMS
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C	18-02-2022	RFIS

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CROSS SECTION D
CONTINUED

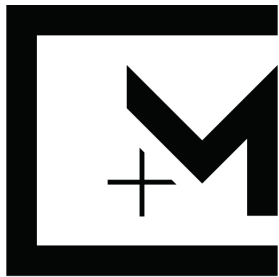
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DATE : 18-02-2022

PROJECT No: 21053

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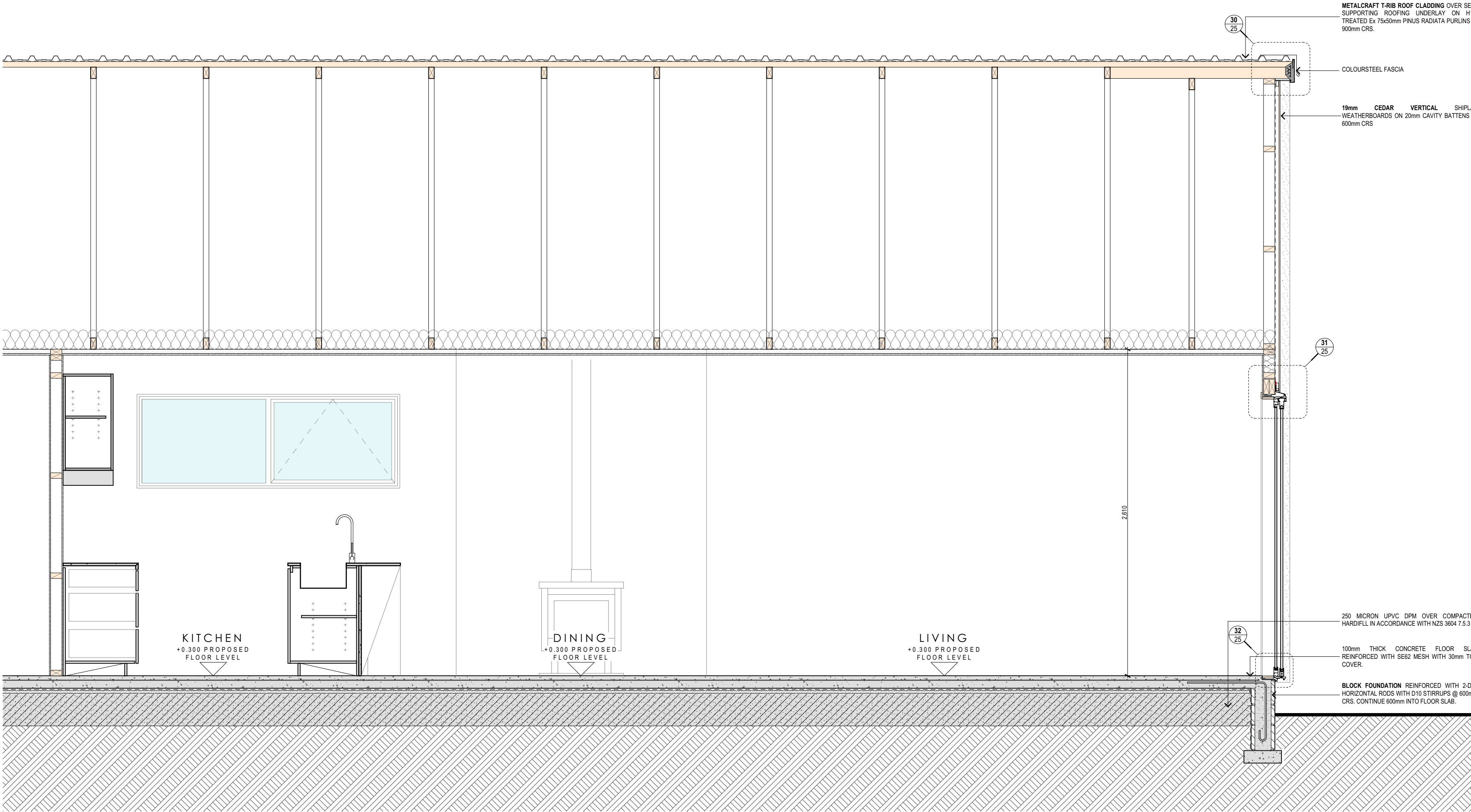
C



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CROSS SECTION D CONTINUED

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B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RIFS

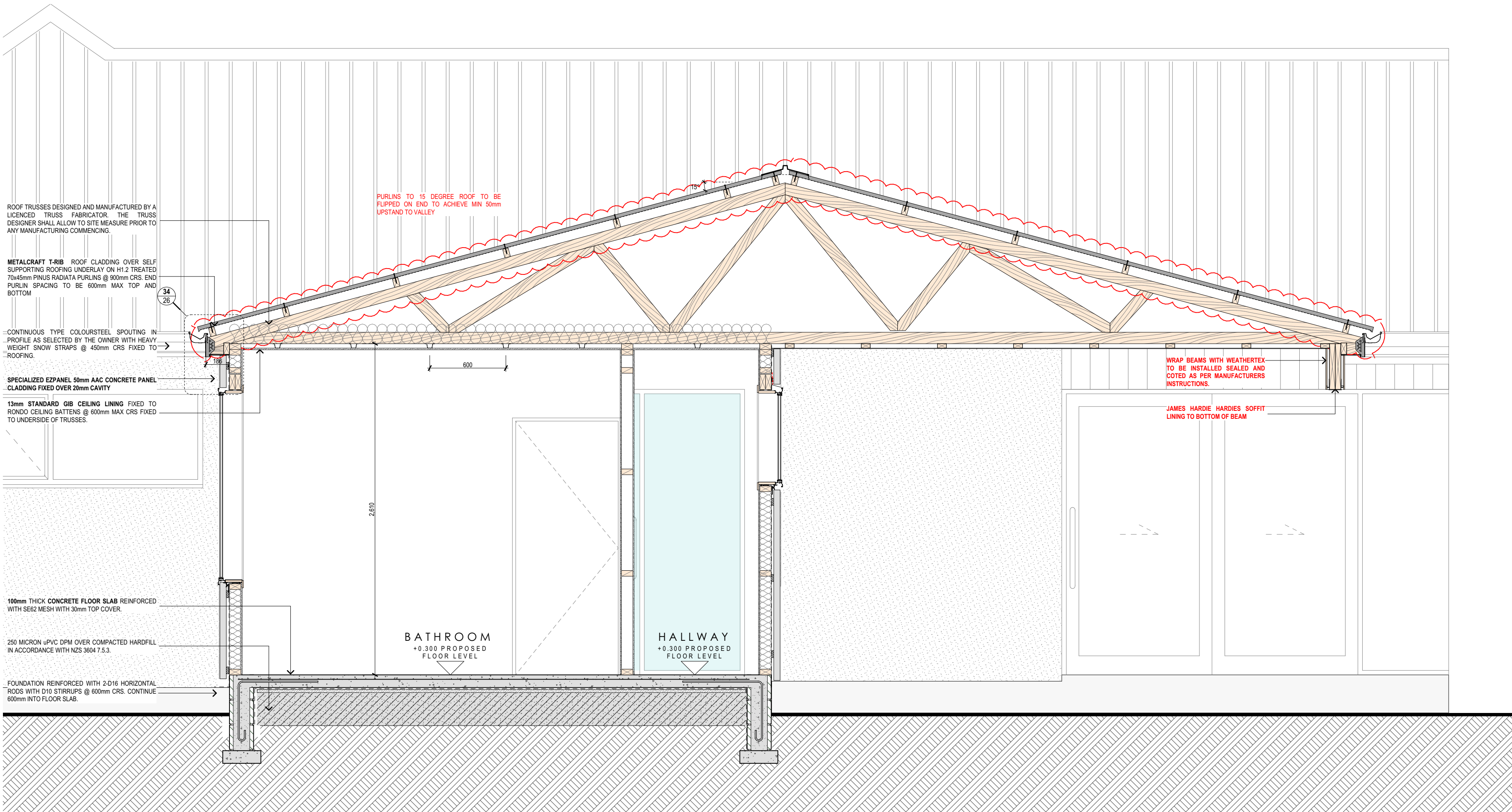
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Ashburton District Council



CROSS SECTION E

1:25

CROSS SECTION E

SCALE : 1:25 @ A2
DATE : 18-02-2022
PROJECT No: 21053

21 C



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A	08-08-2021	PRELIMS
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C	18-02-2022	RFIS

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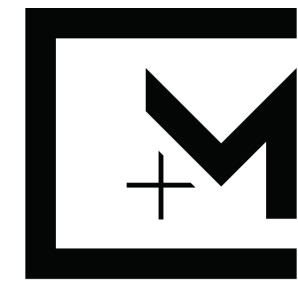
Ashburton District Council

WEATHERING
DETAILS

SCALE : 1:5 @ A2
DATE : 18-02-2022
PROJECT No: 21053

22

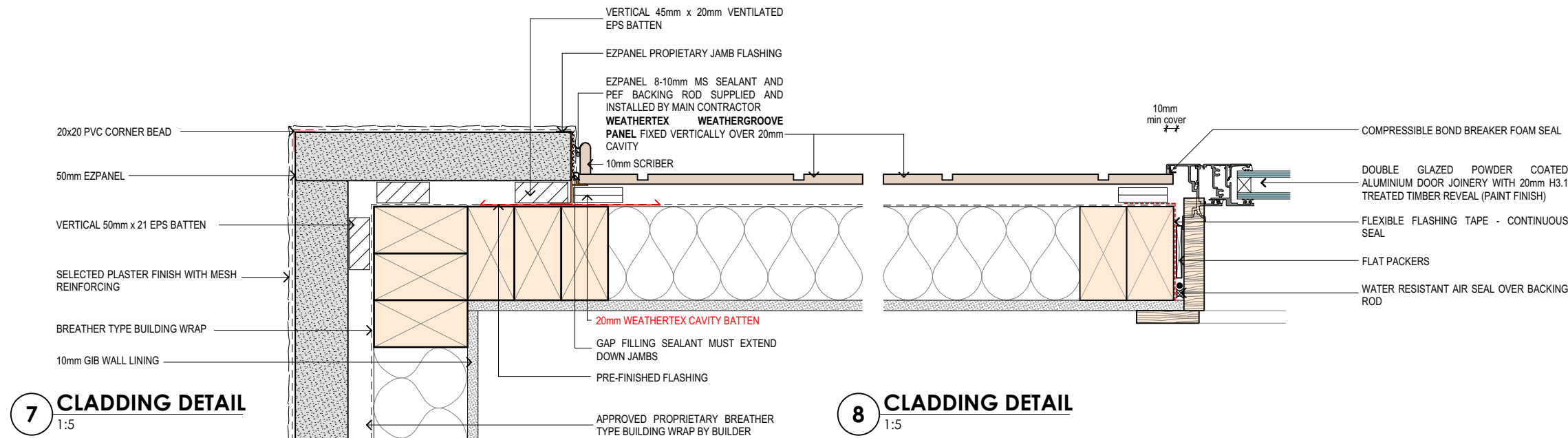
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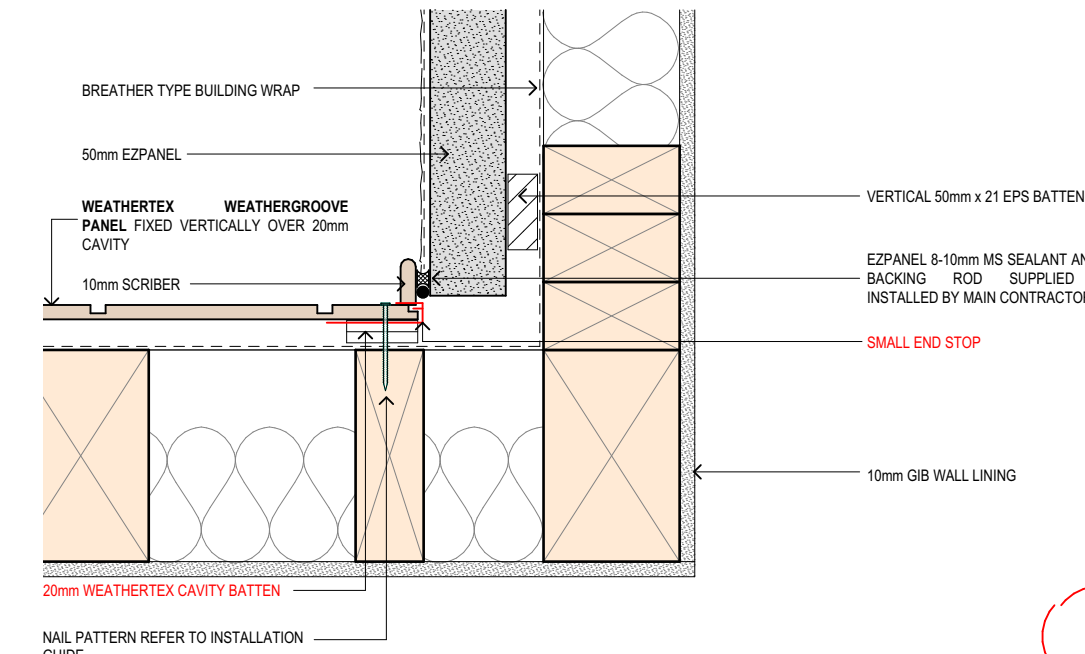
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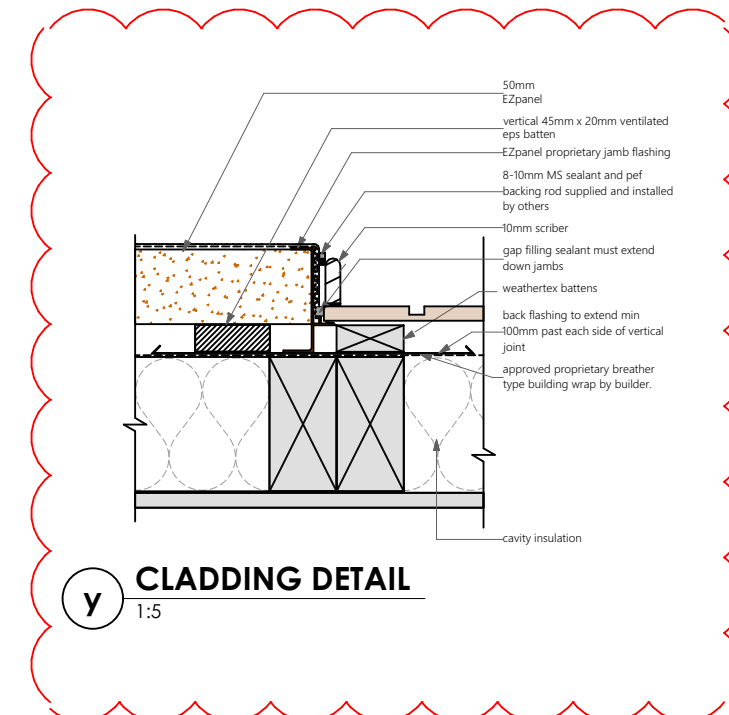


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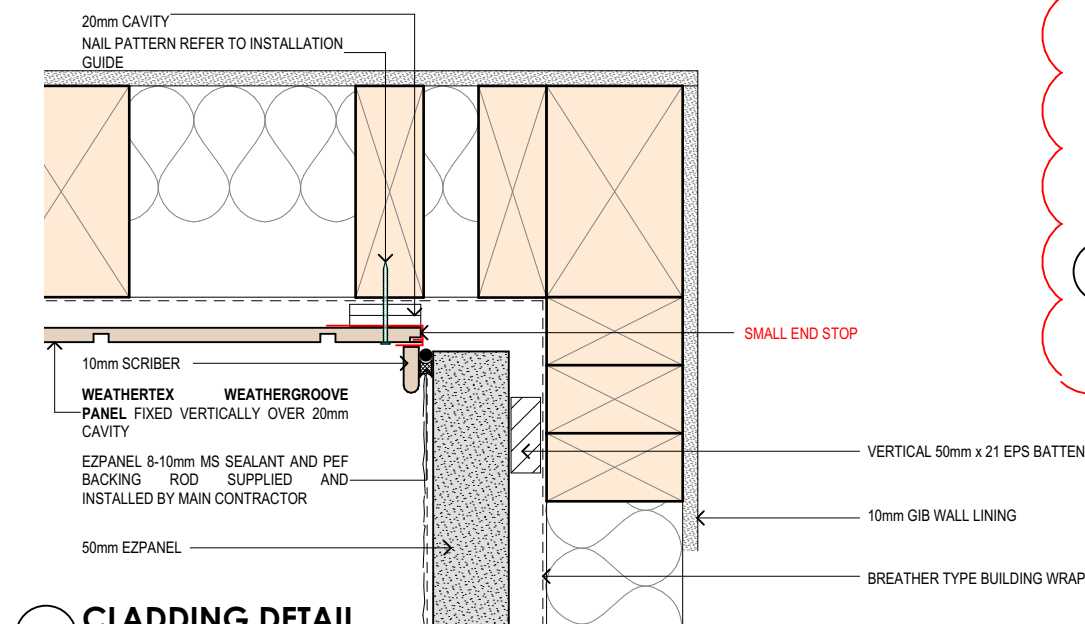
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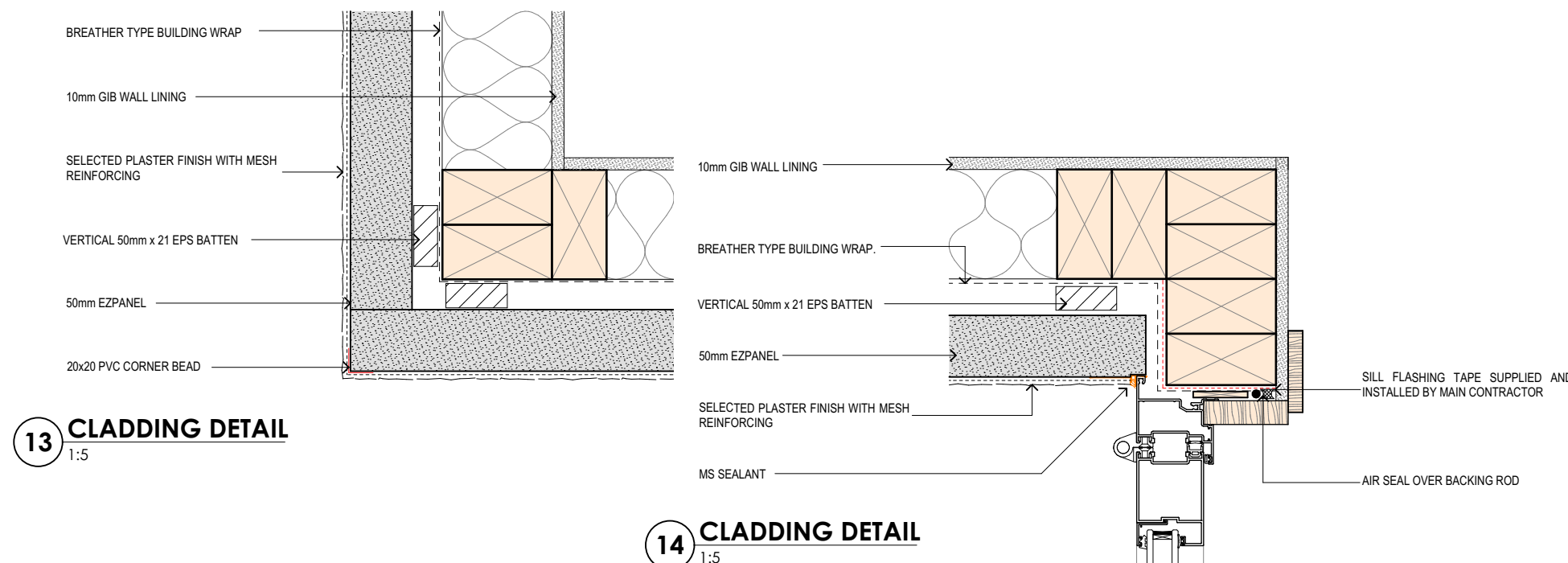
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Y CLADDING DETAIL
1:5

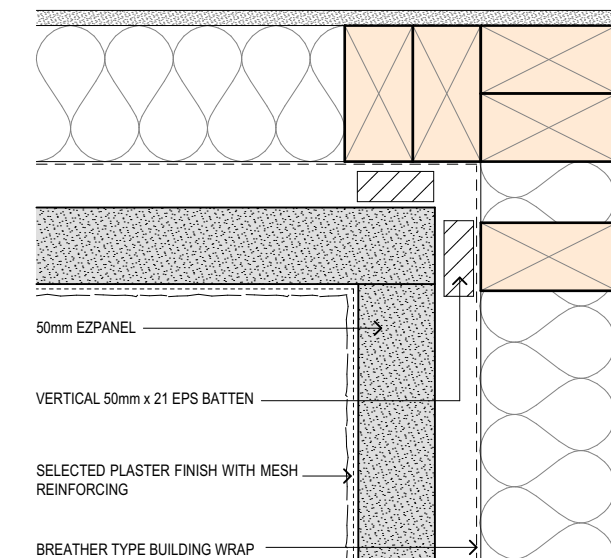


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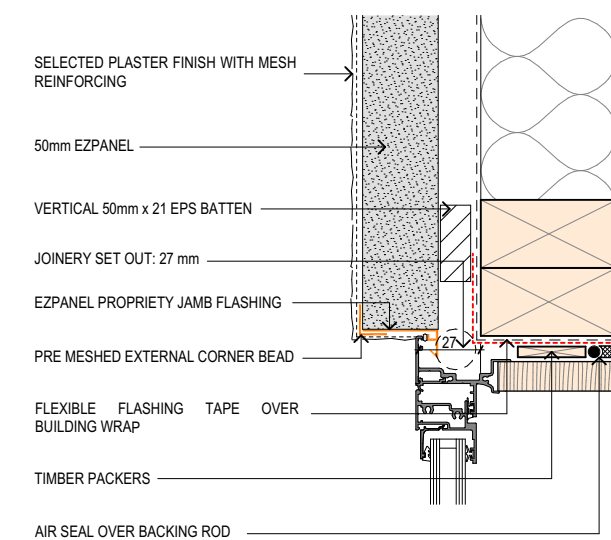


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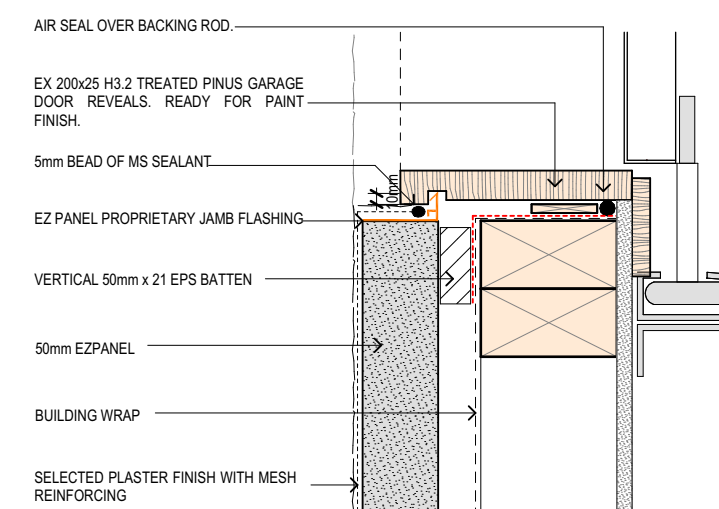
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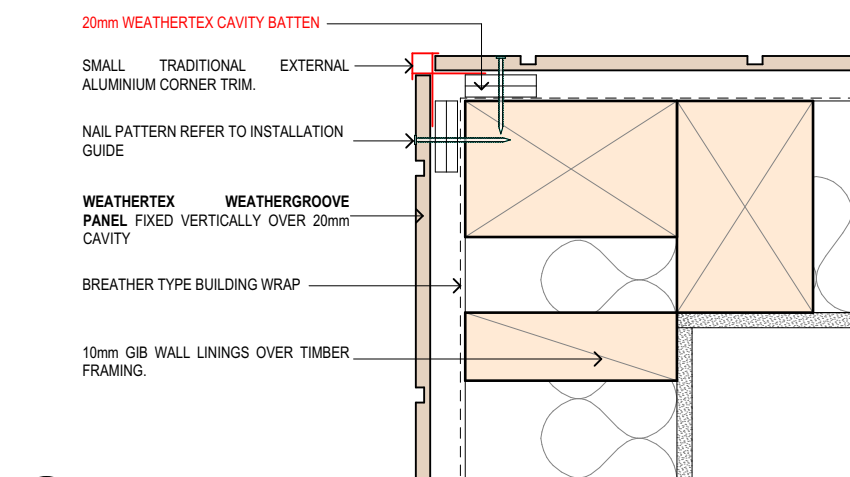
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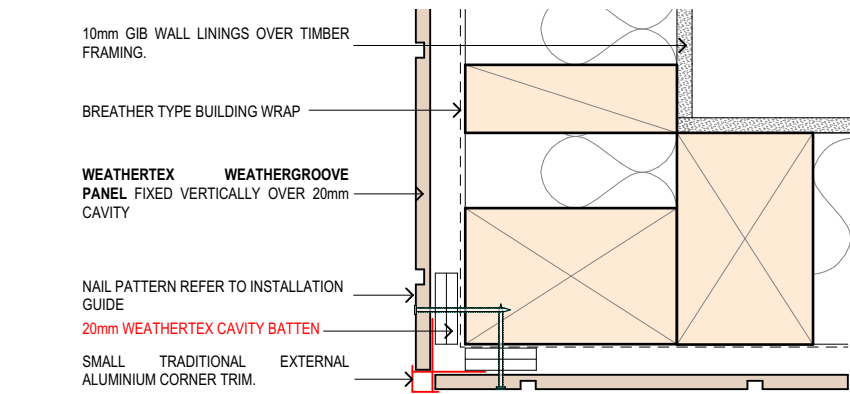
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17 CLADDING DETAIL
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9 CLADDING DETAIL
1:5



11 CLADDING DETAIL
1:5

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFI'S

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BC0734/21

Wharfedale District Council

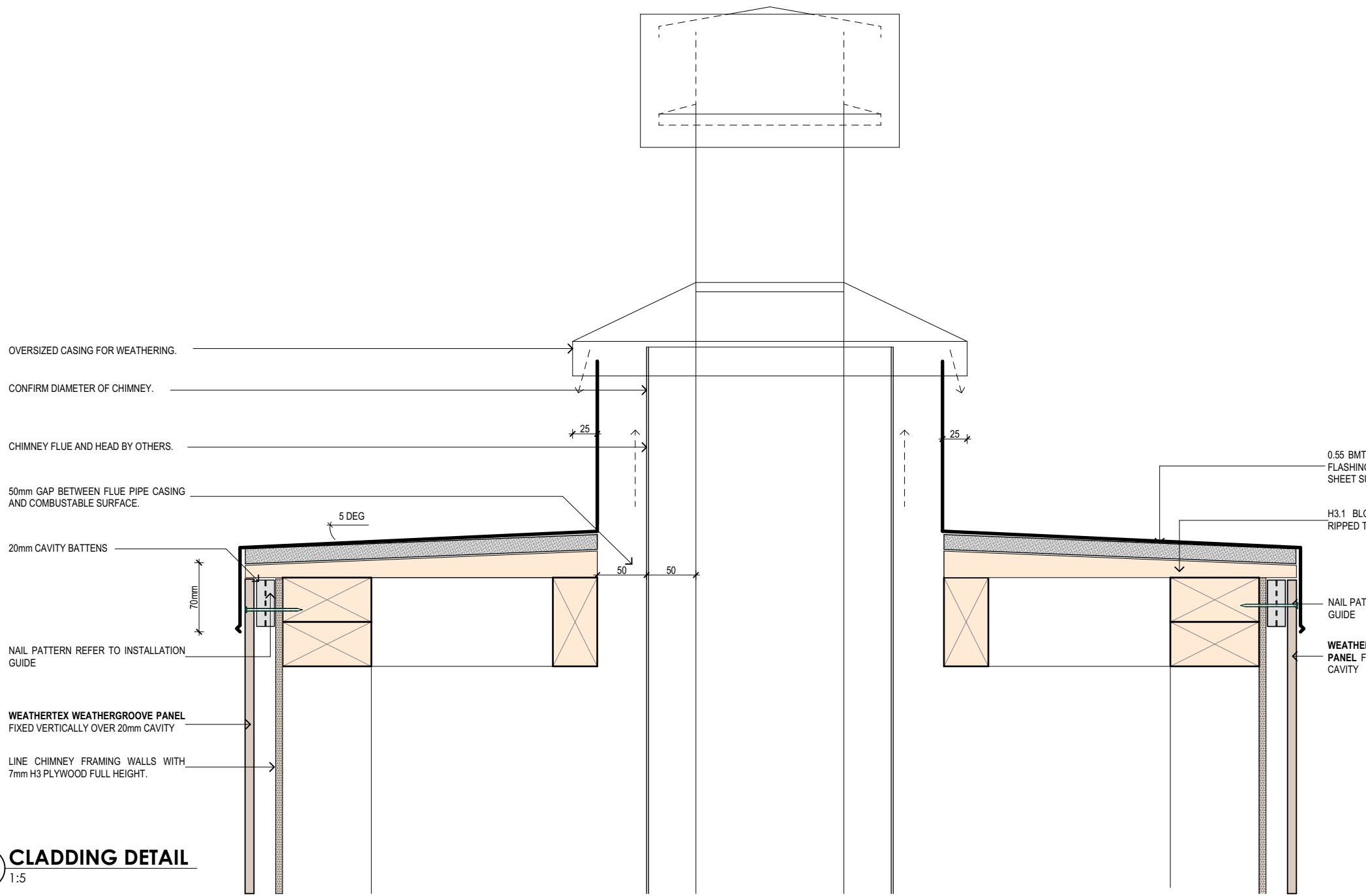
SCALE :	1:5 @ A2
DATE :	18-02-2022
PROJECT No:	21053

23 C

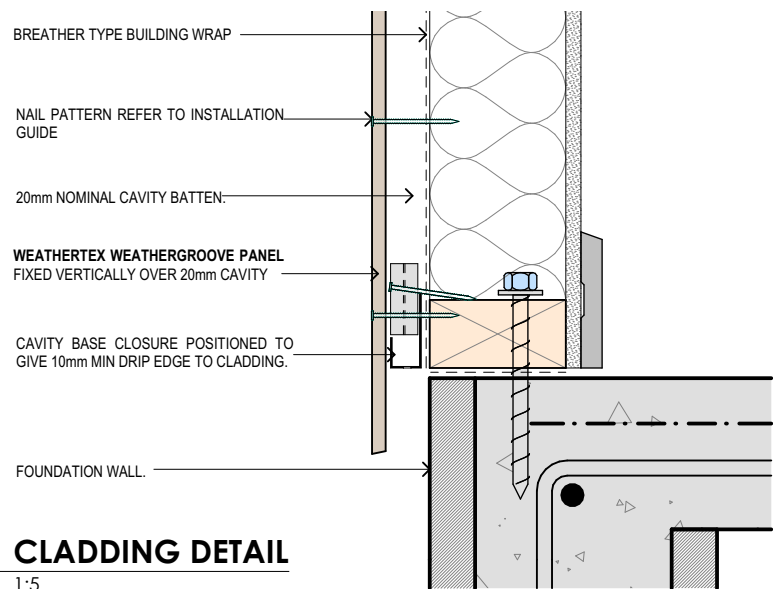


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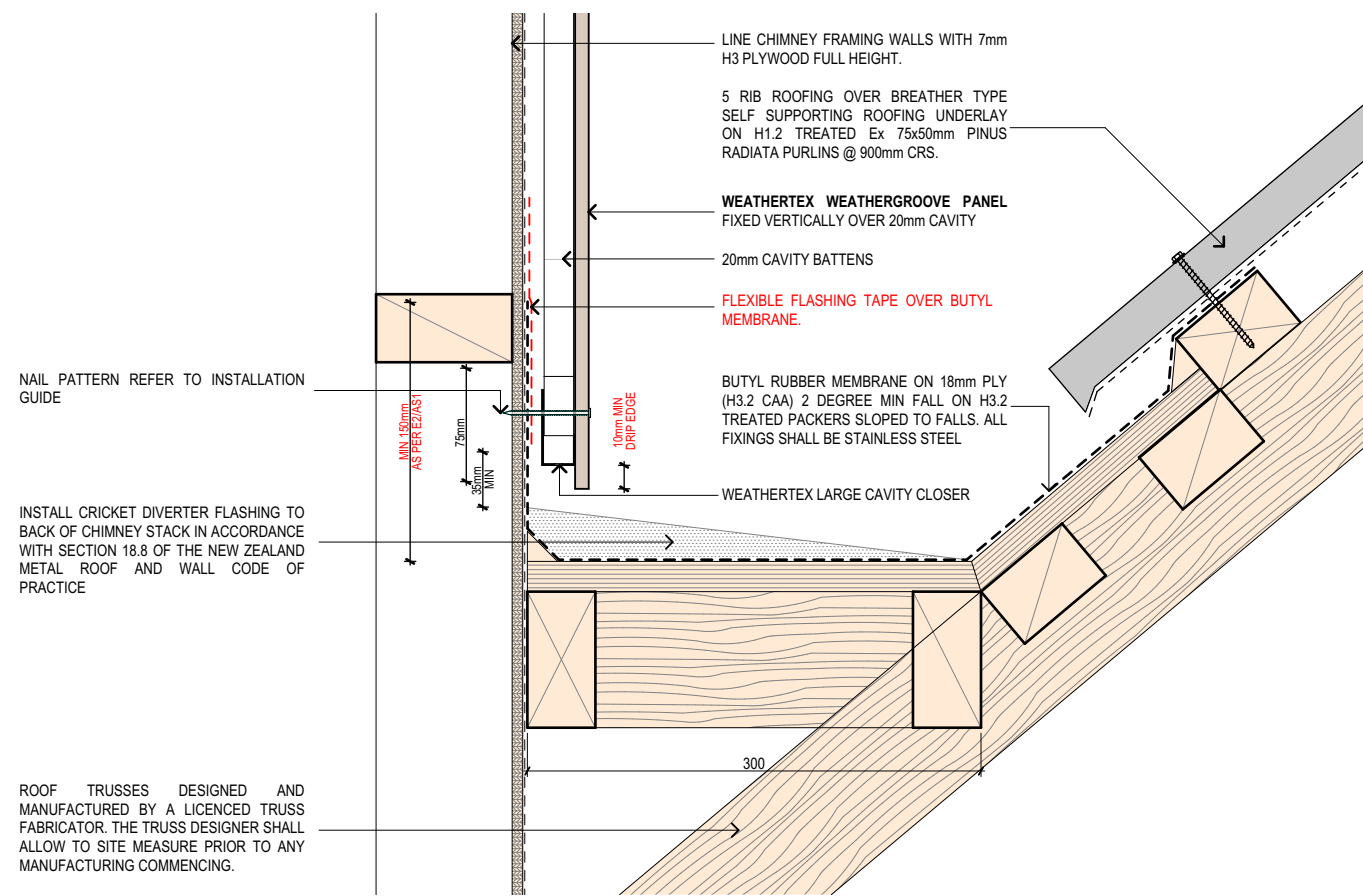
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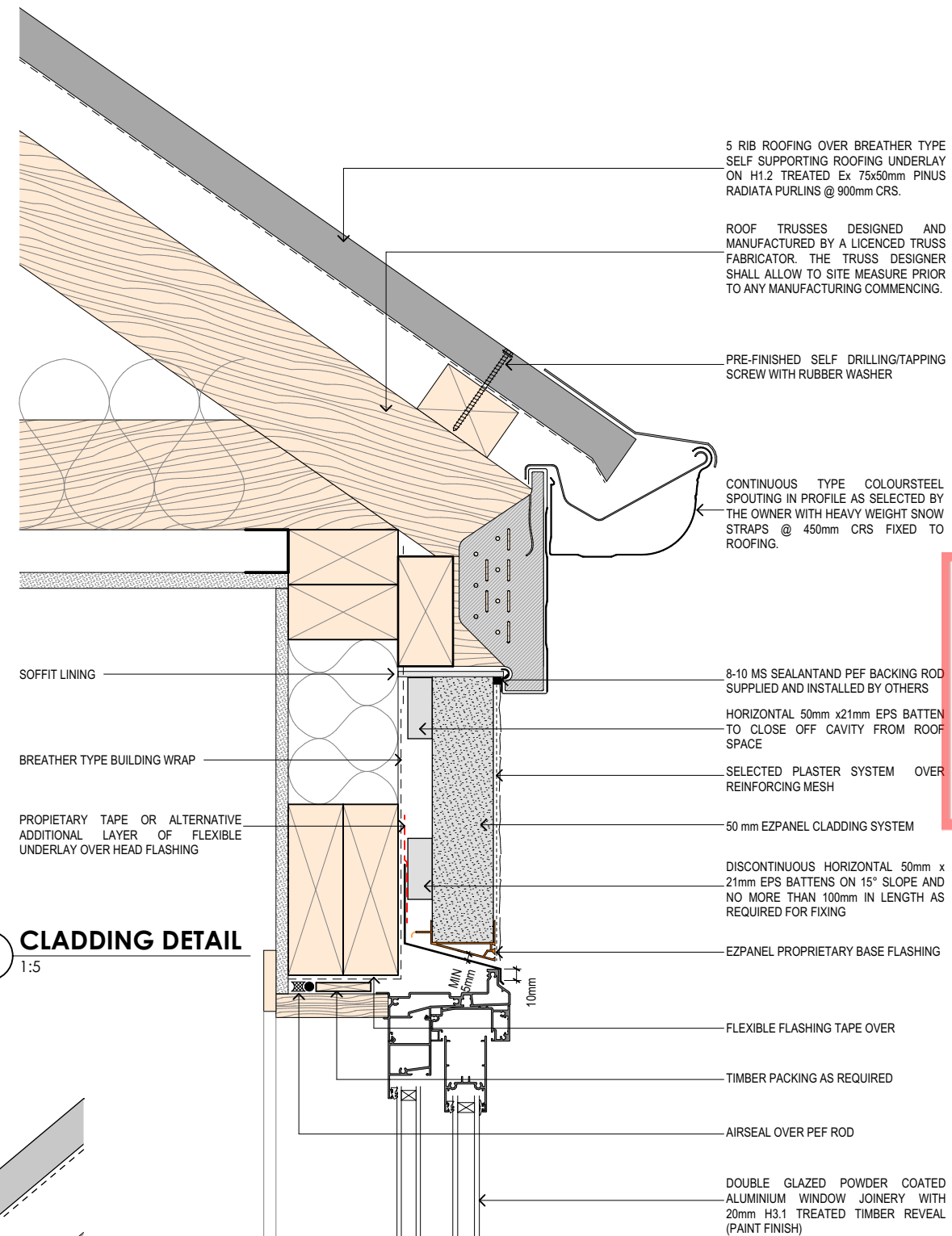
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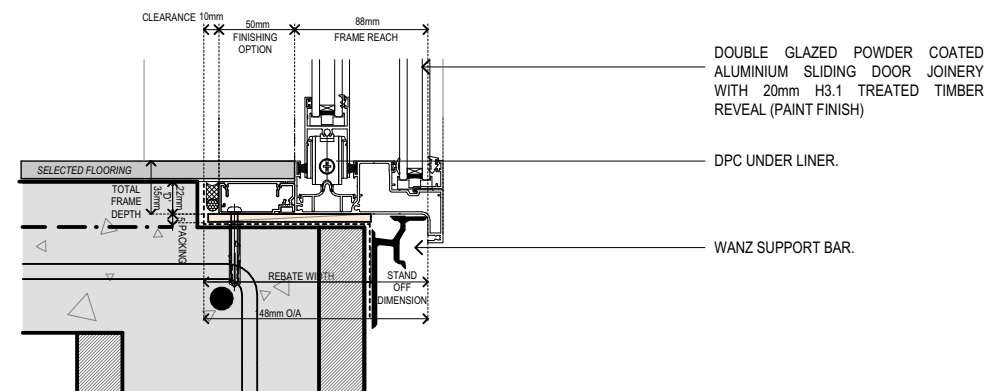
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21 CLADDING DETAIL



SILL
22 CLADDING DETAIL
1:5



A	08-08-2021	PRELIMS
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C	18-02-2022	RIFS

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Ashburton District Council

WEATHERING
DETAILS

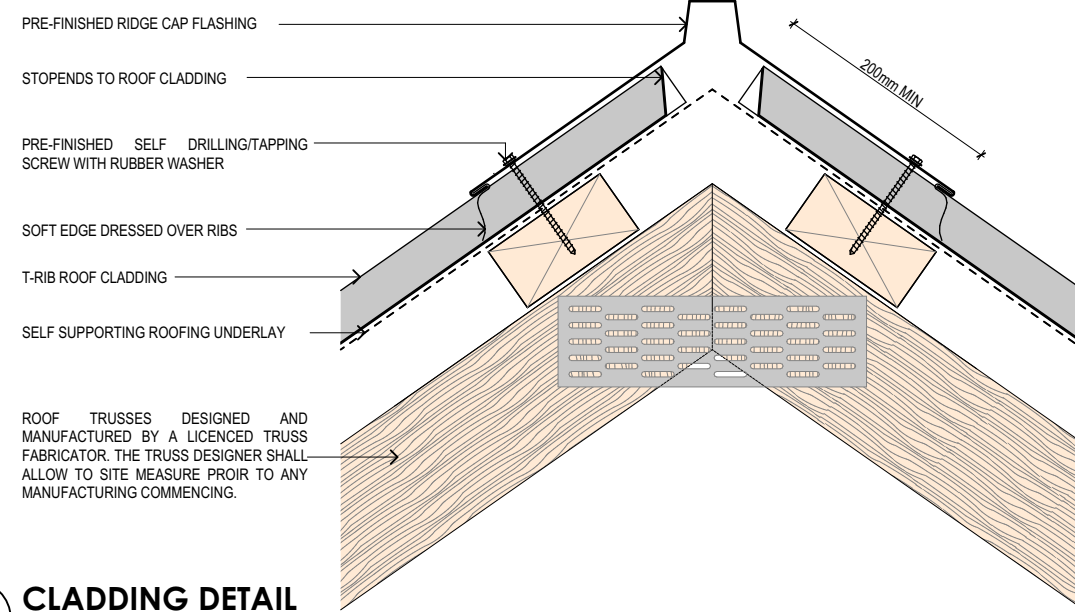
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DATE : 18-02-2022
PROJECT No: 21053

24 C

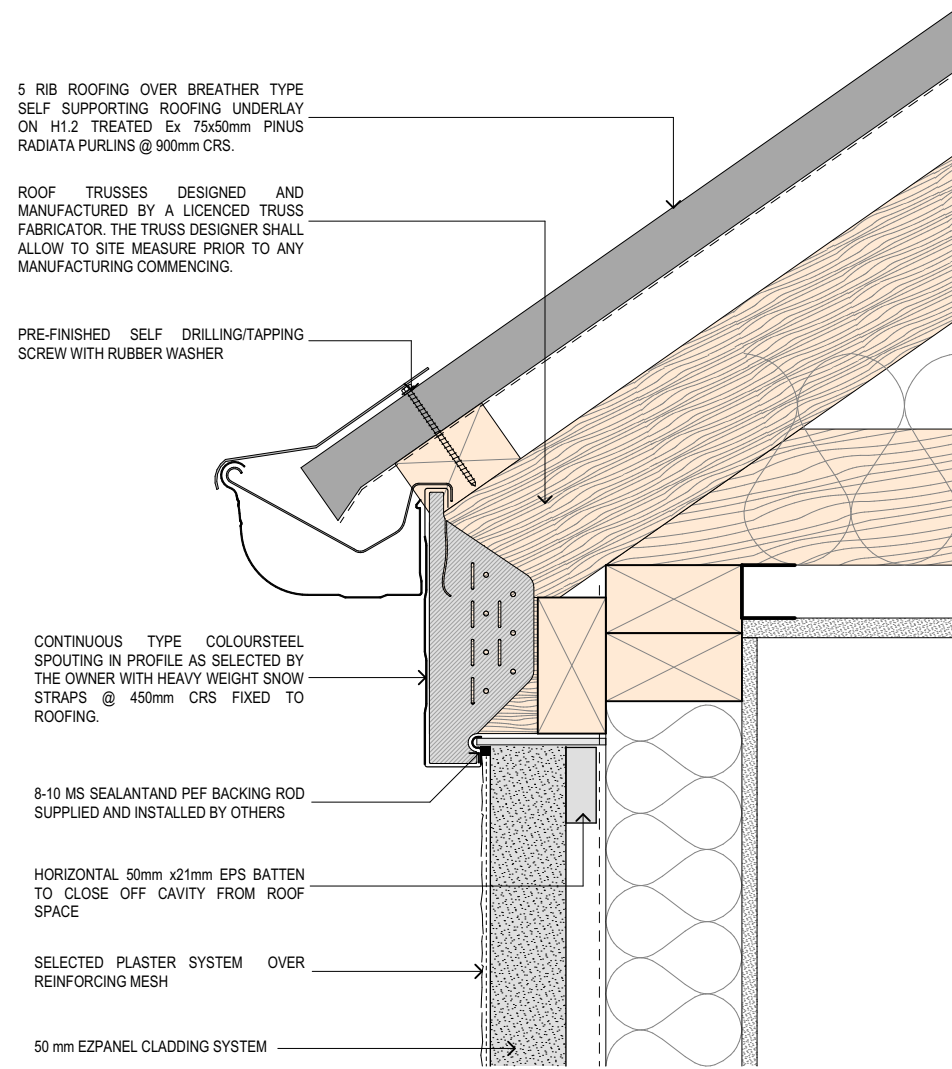


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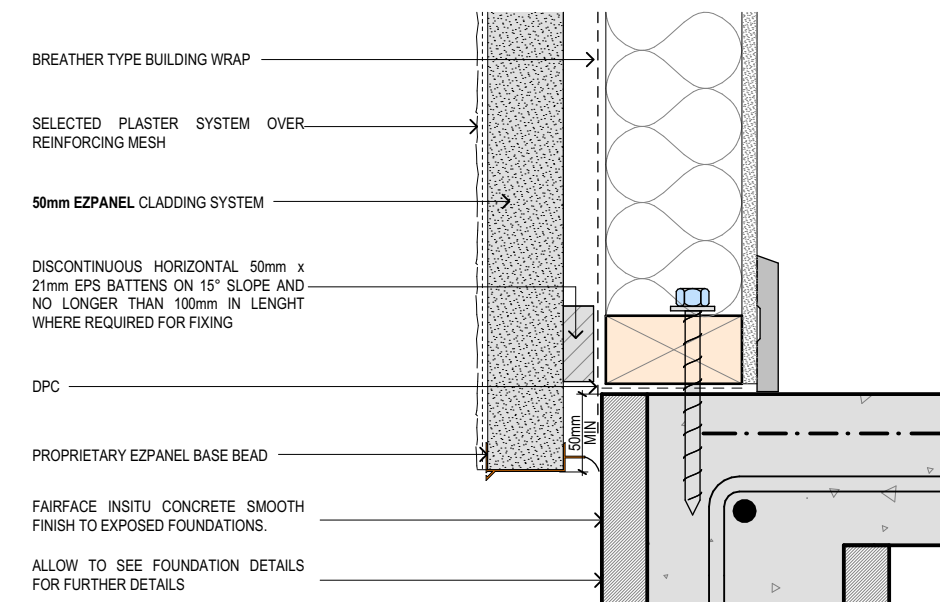
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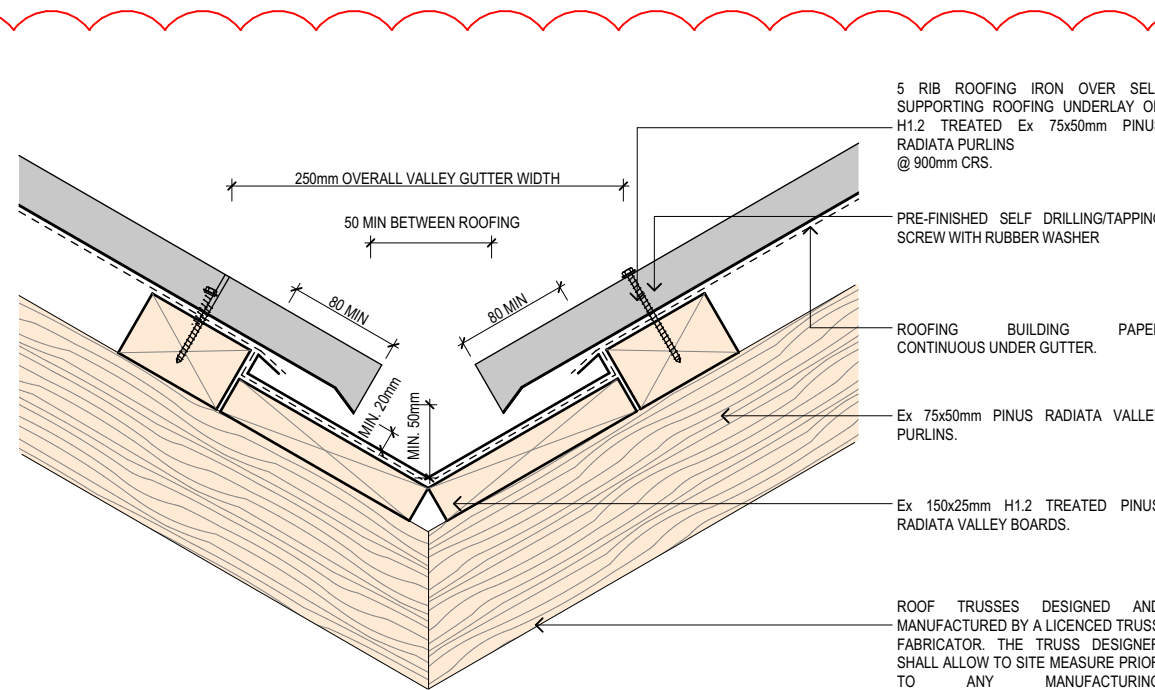
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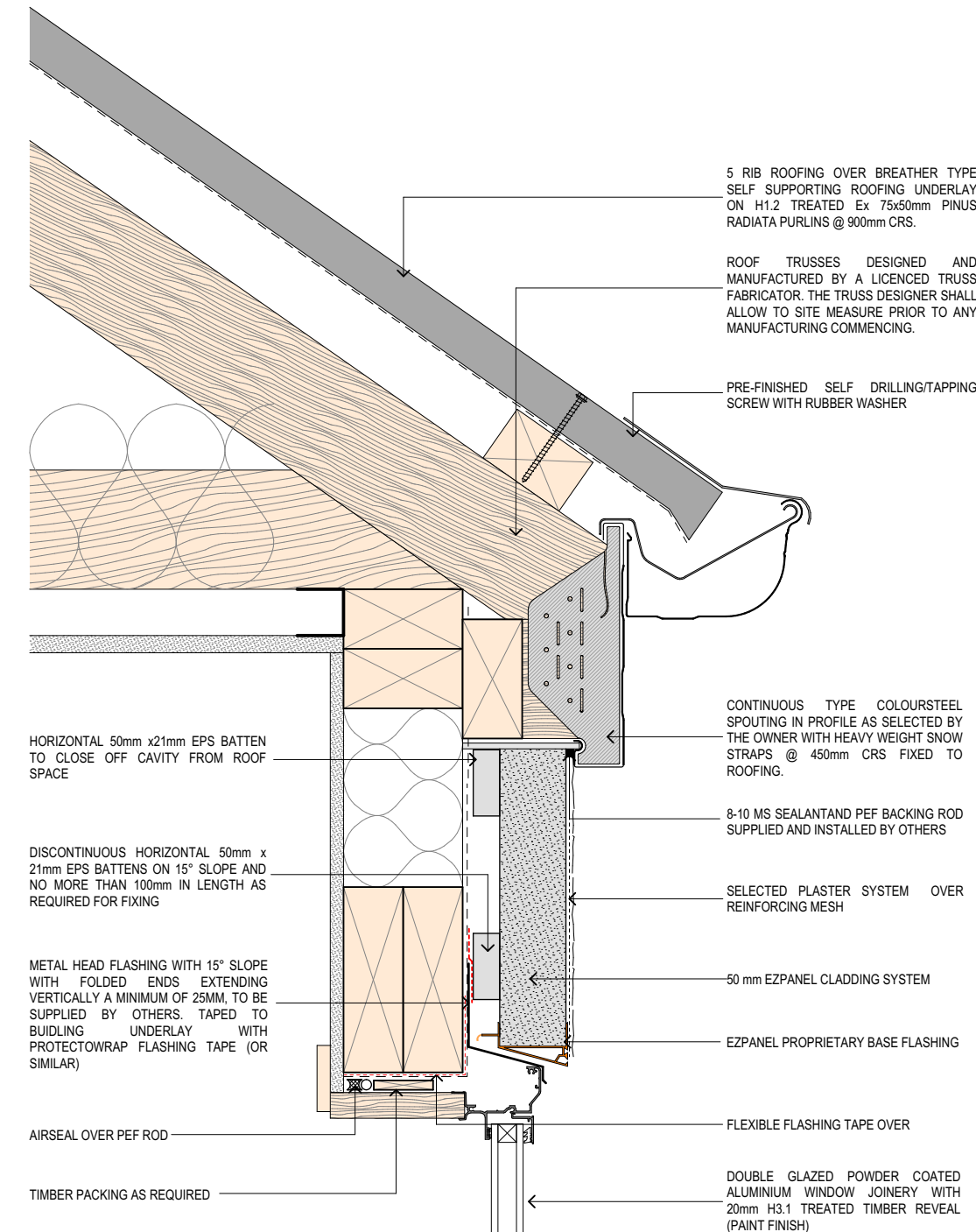
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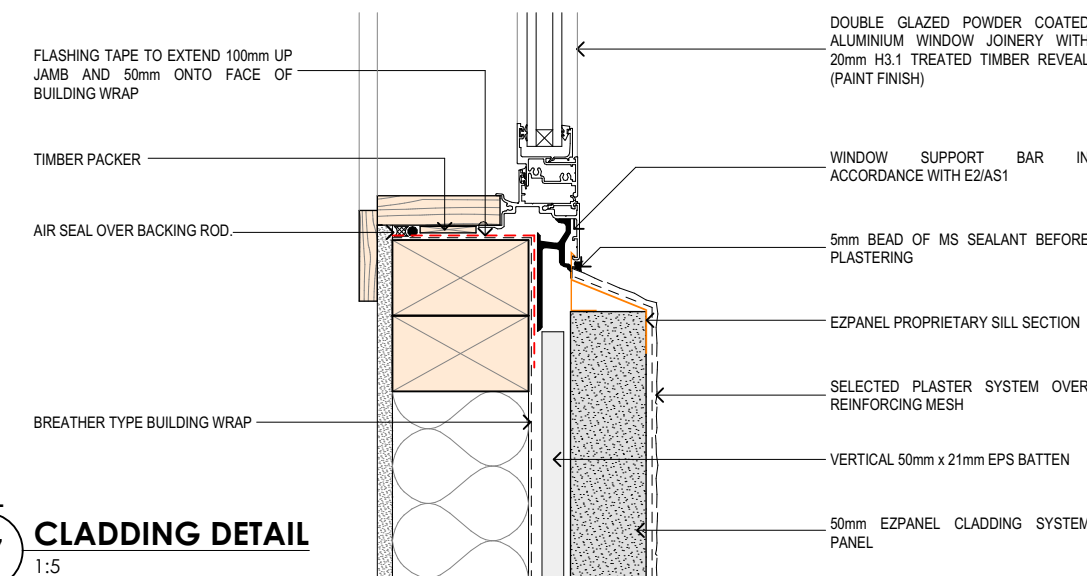
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x 26 CLADDING DETAIL
1:5



26 CLADDING DETAIL
1:5



SILL
27 CLADDING DETAIL
1:5

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFFS

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WEATHERING
DETAILS

SCALE :	1:5 @ A2
DATE :	18-02-2022
PROJECT No:	21053

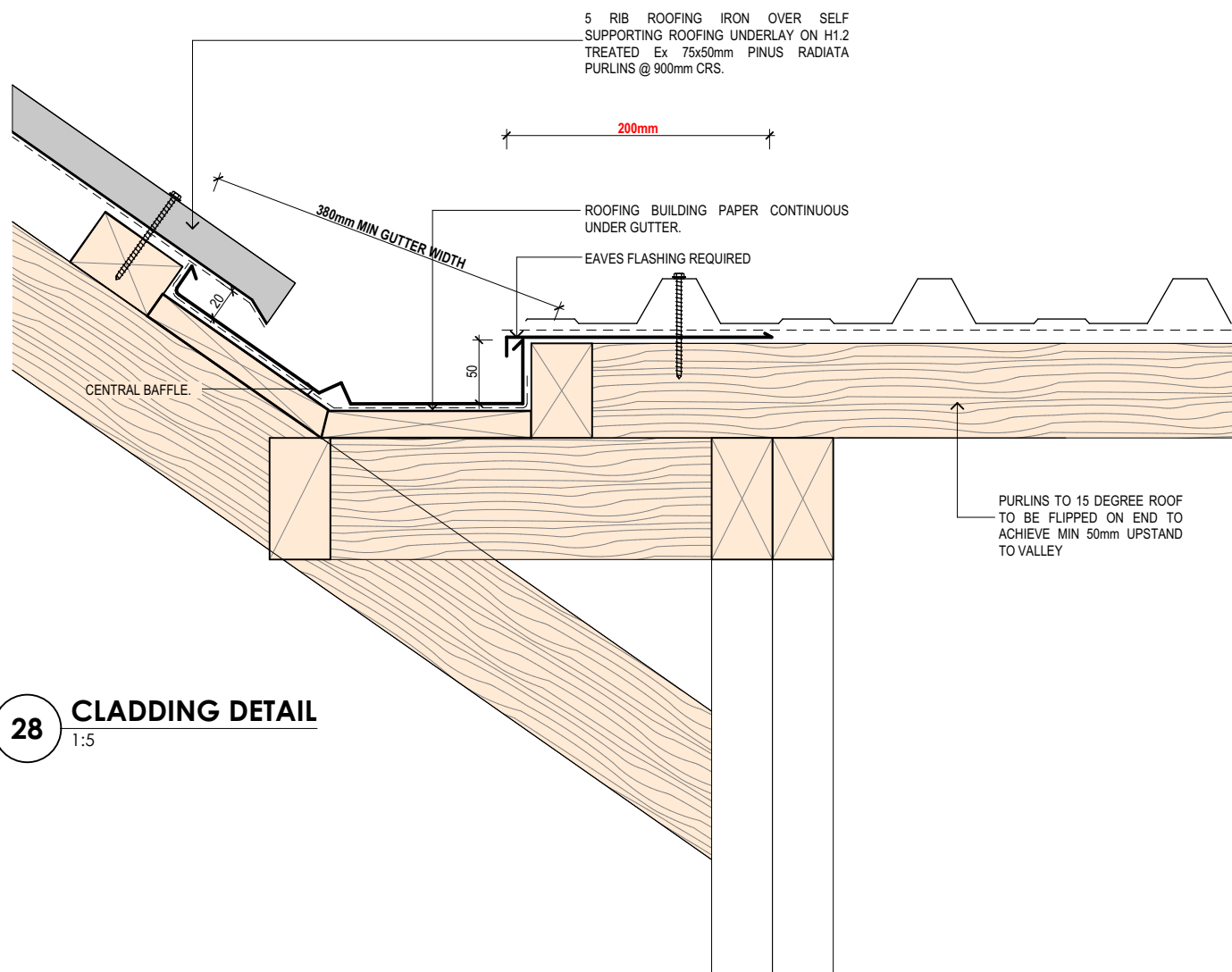
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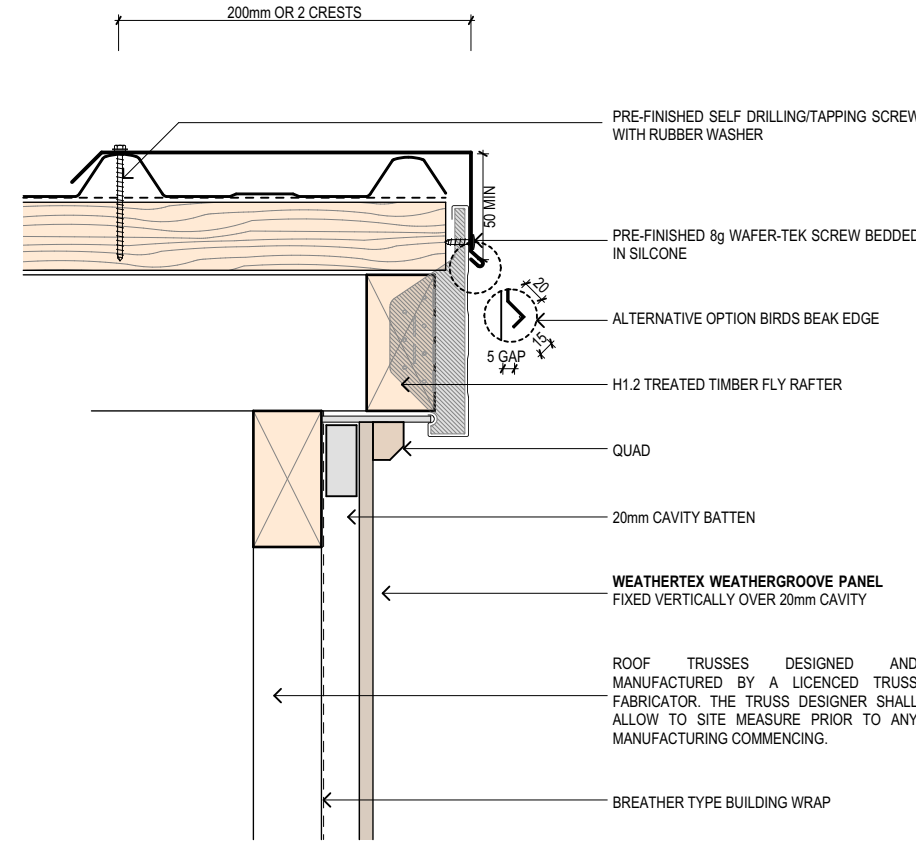
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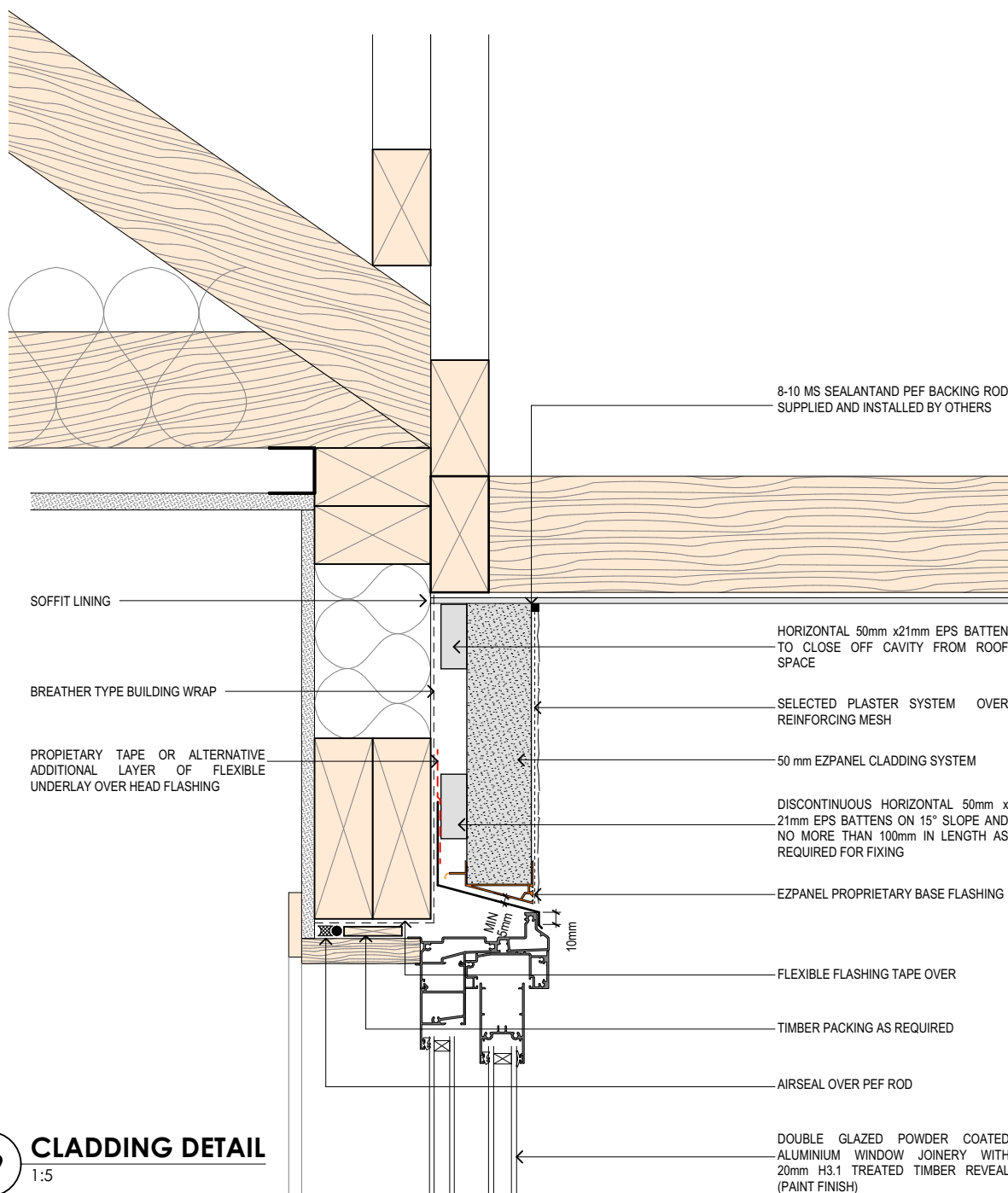
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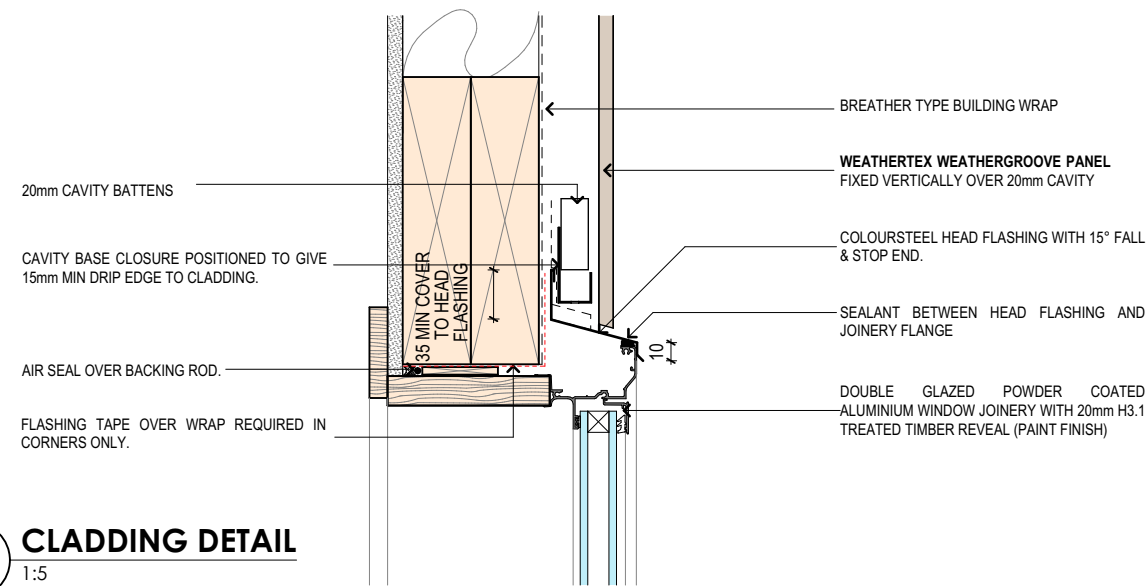
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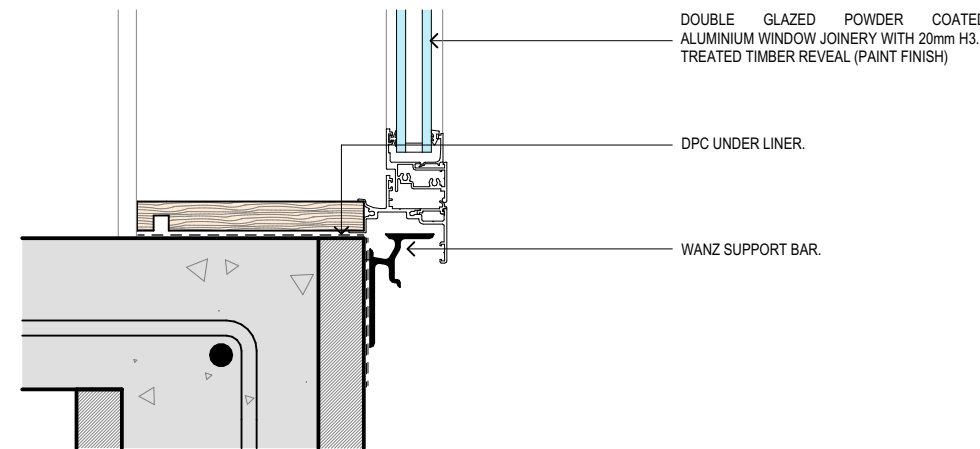
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31 CLADDING DETAIL
1:5



32 CLADDING DETAIL
1:5

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFIS

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WEATHERING
DETAILS

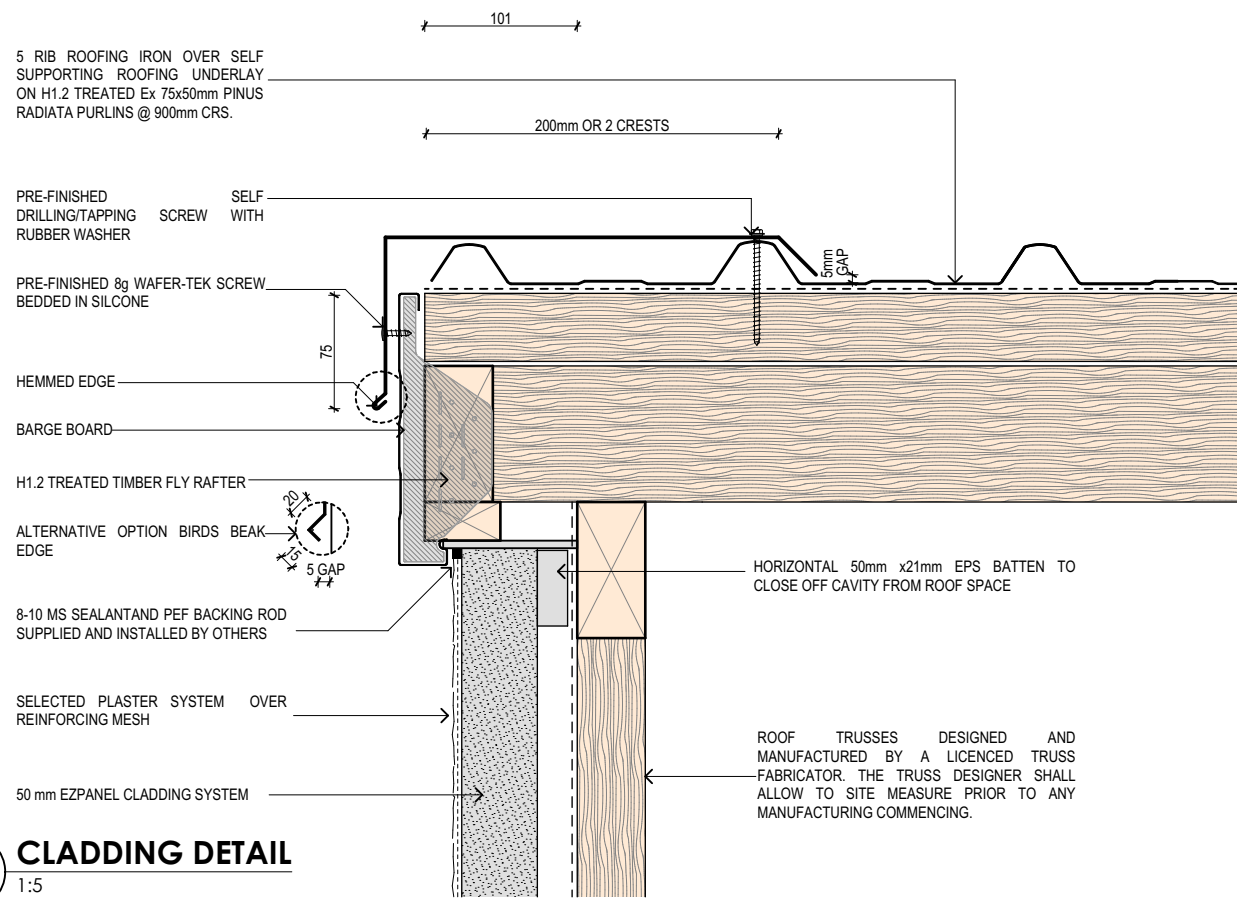
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PROJECT No:	21053

26 C

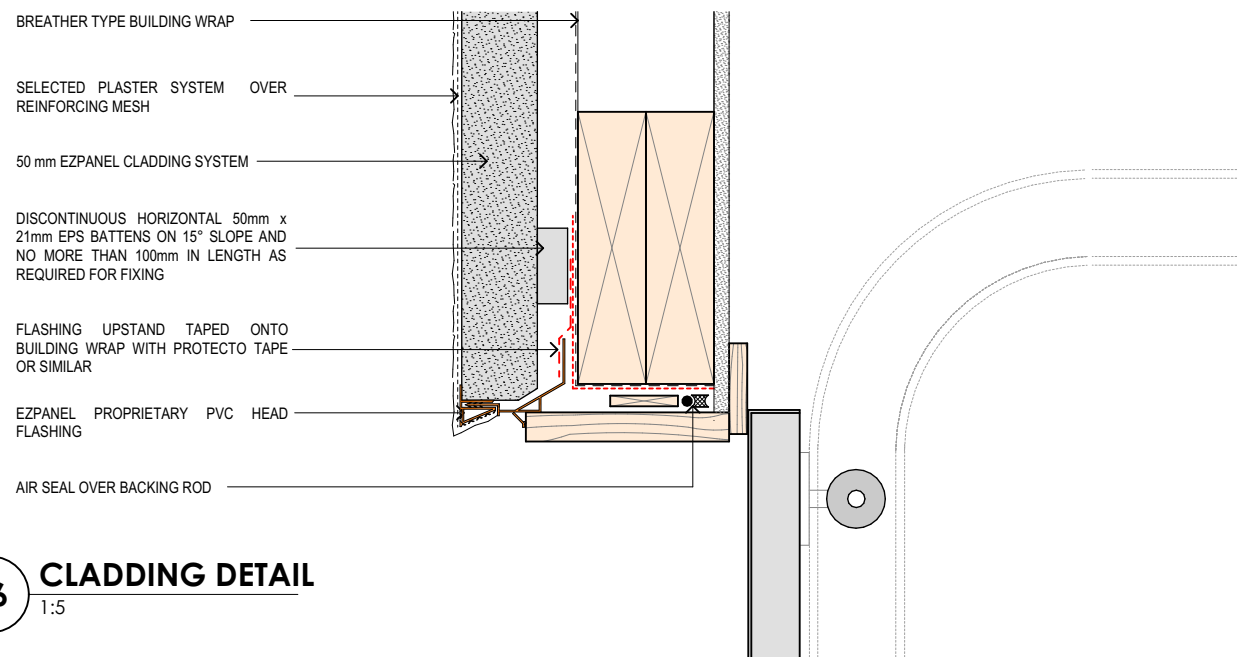


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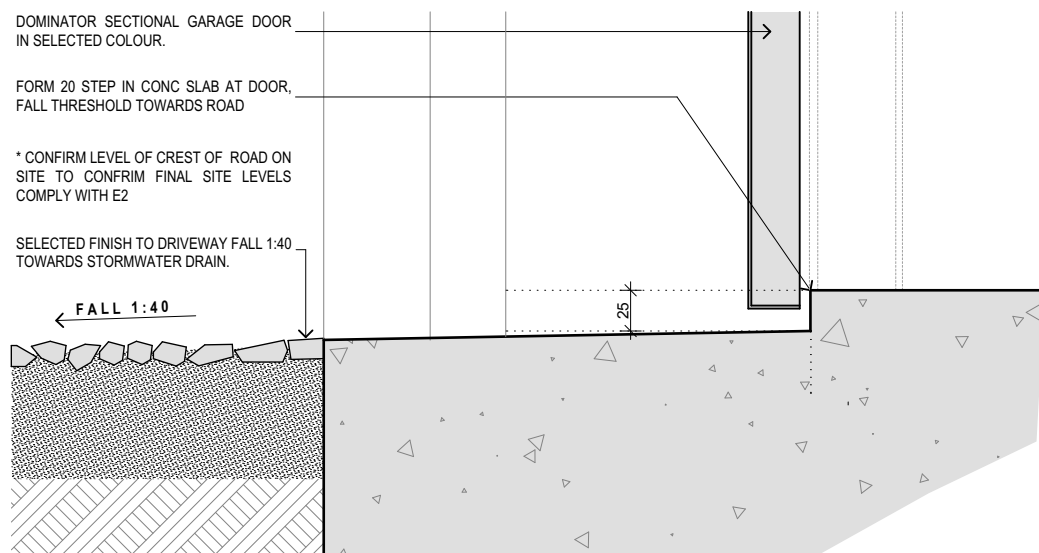
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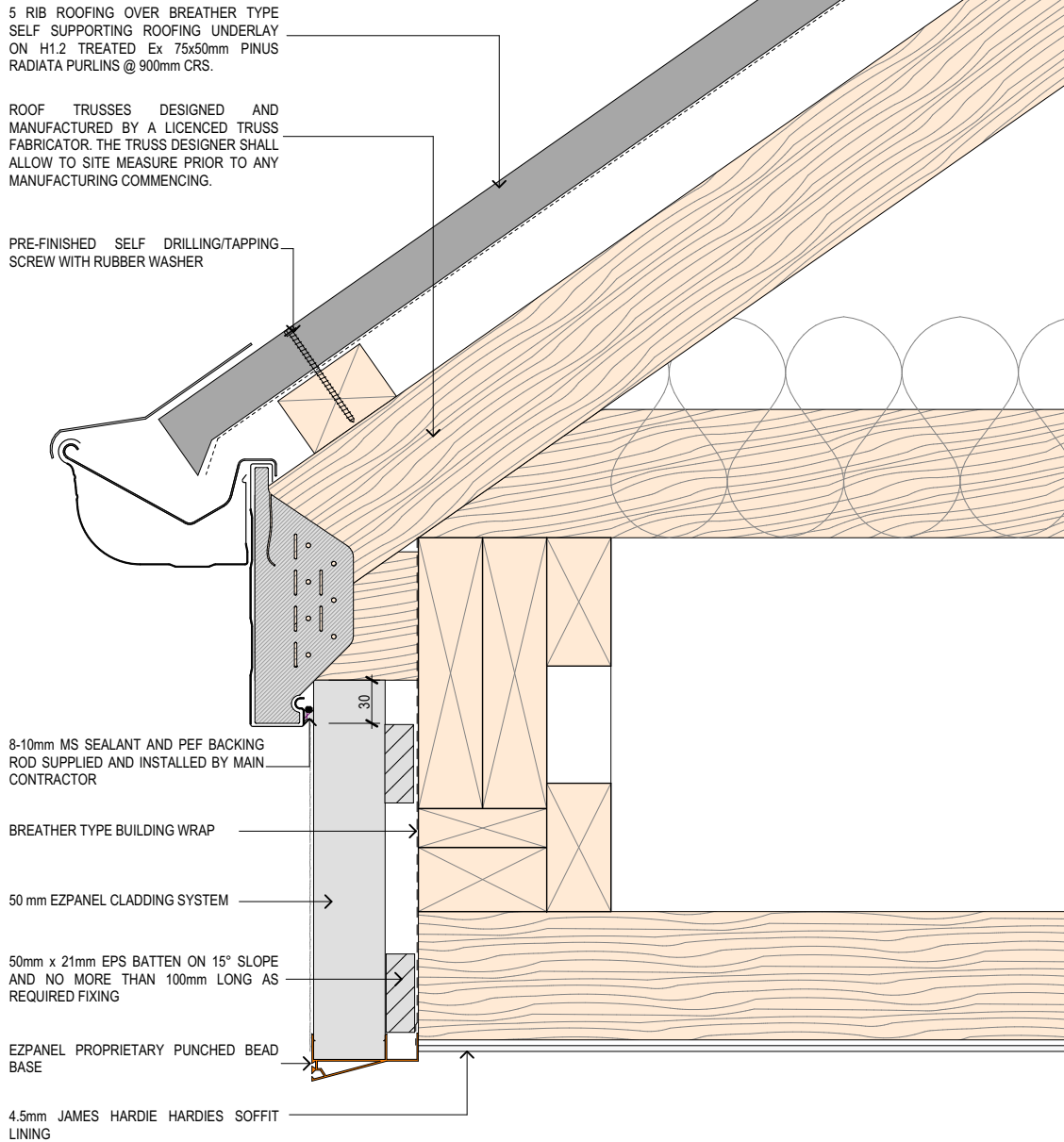
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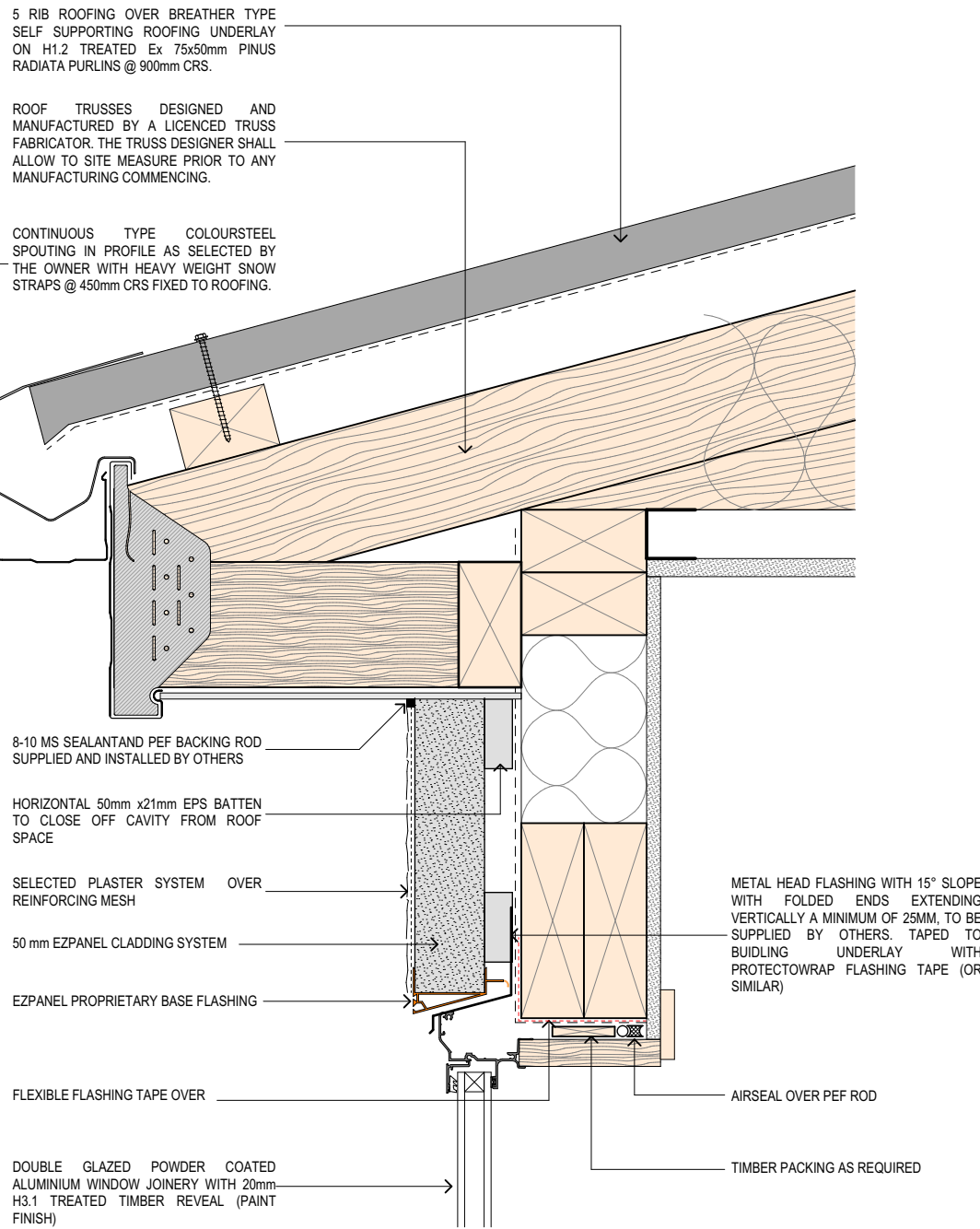
36 CLADDING DETAIL
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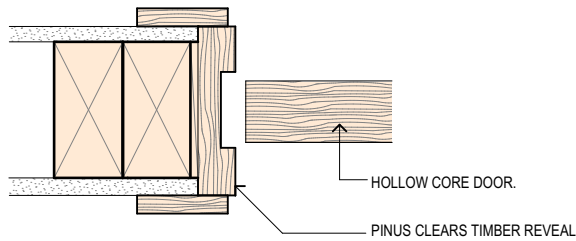
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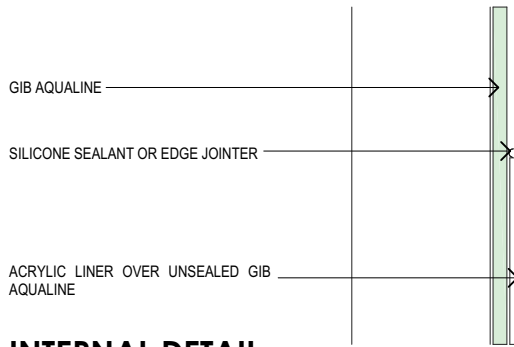
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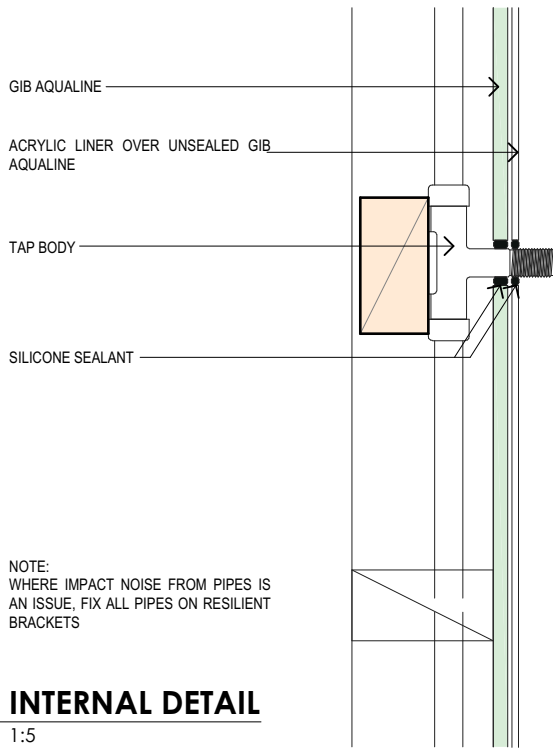
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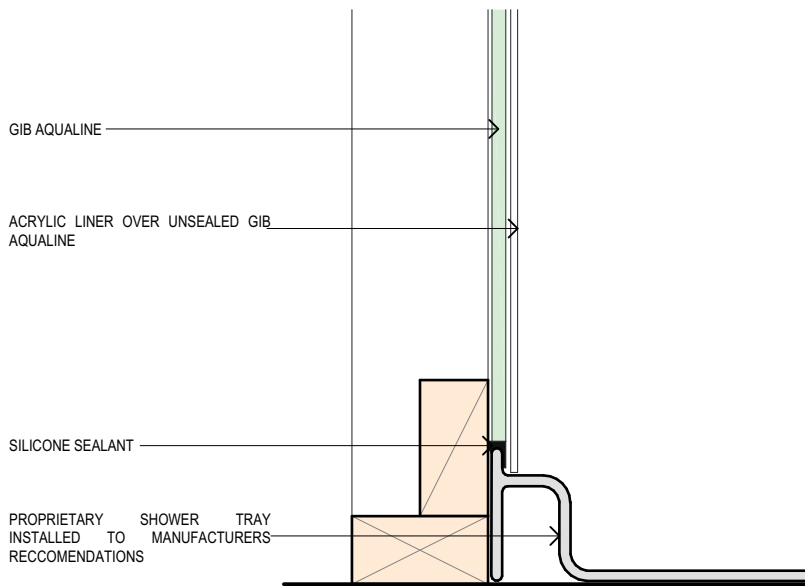
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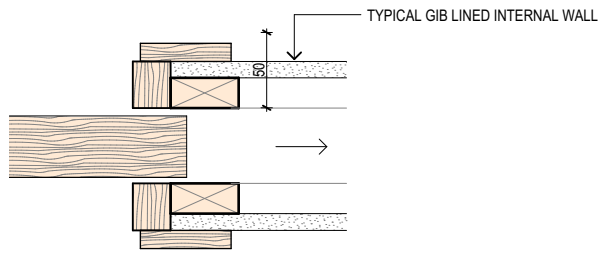
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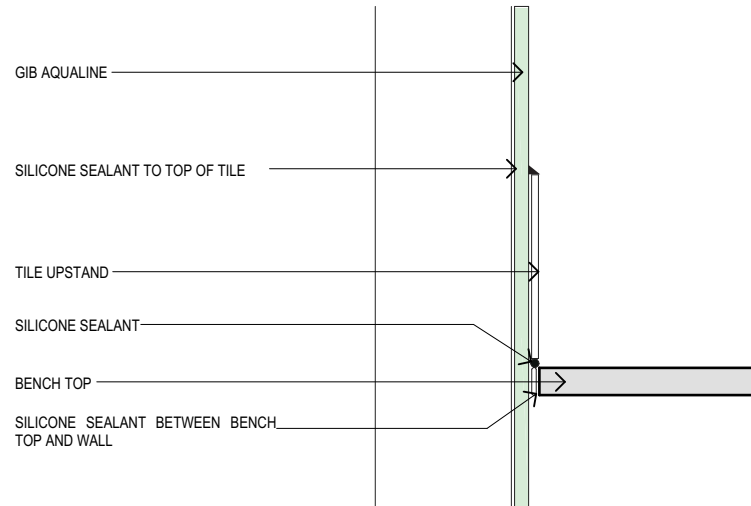
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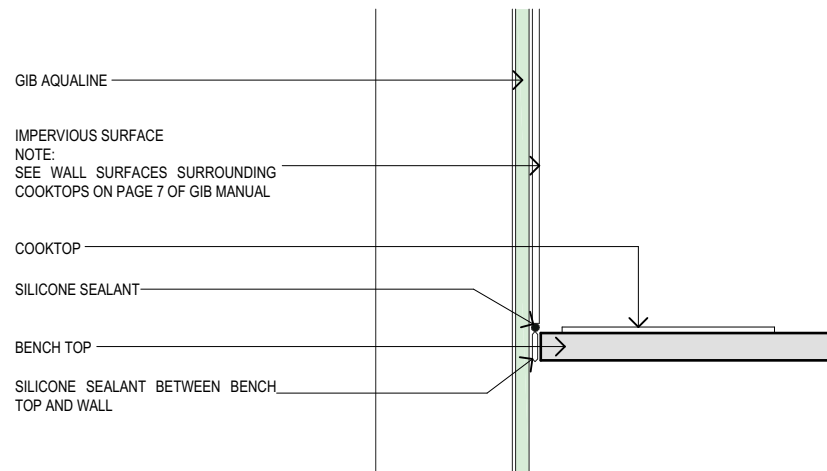
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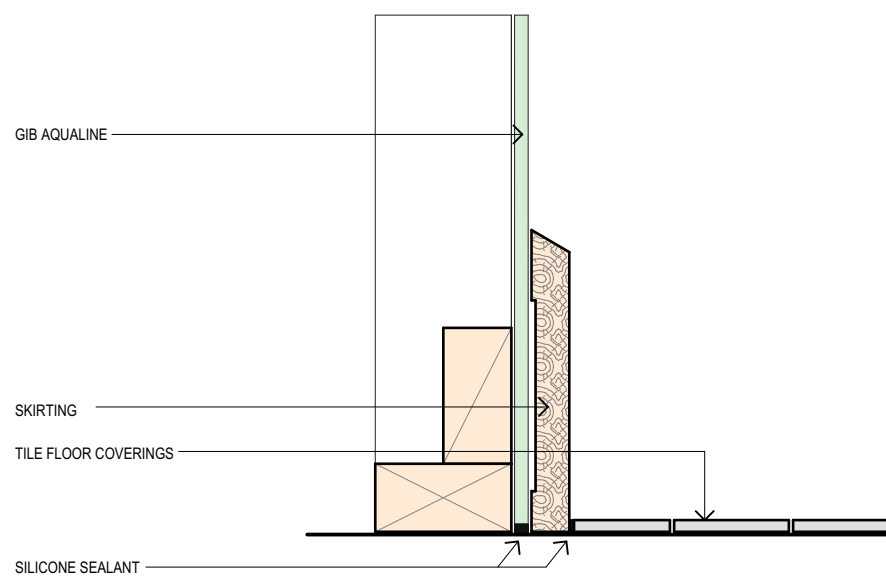
39 INTERNAL DETAIL
1:5



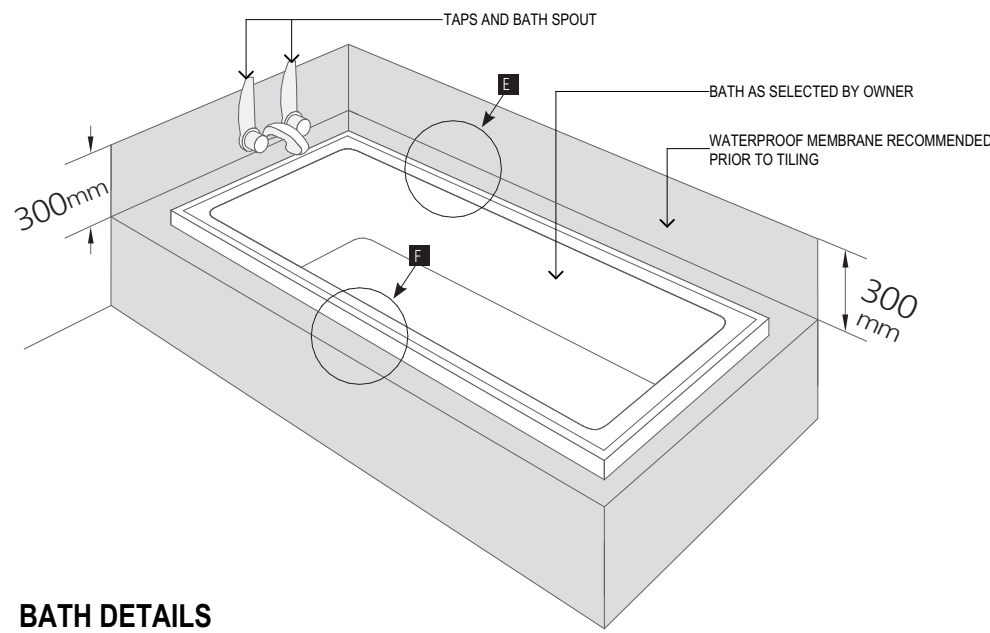
41 INTERNAL DETAIL
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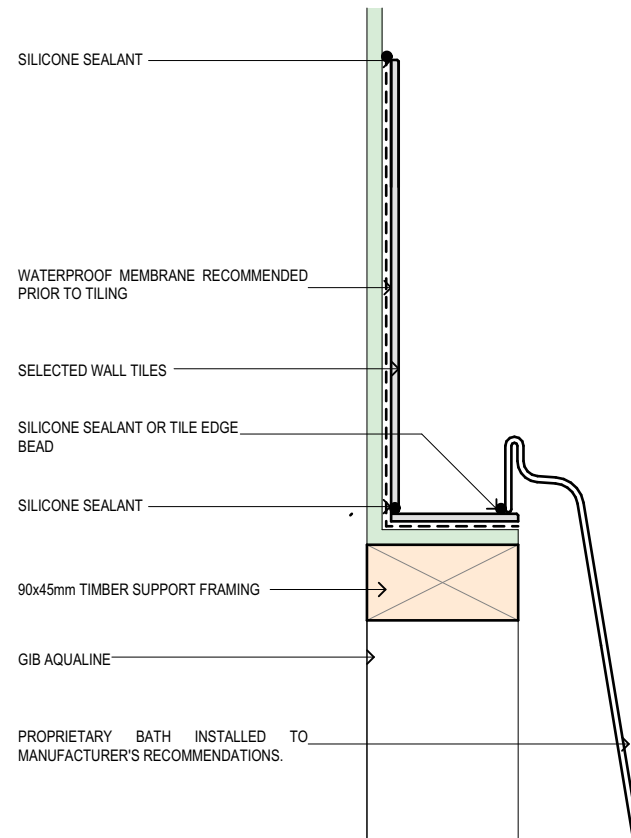
43 INTERNAL DETAIL
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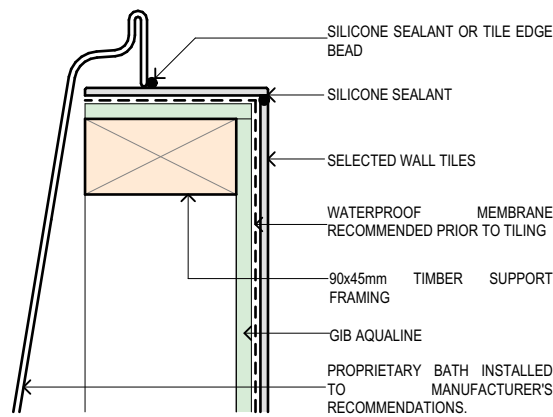
45 INTERNAL DETAIL
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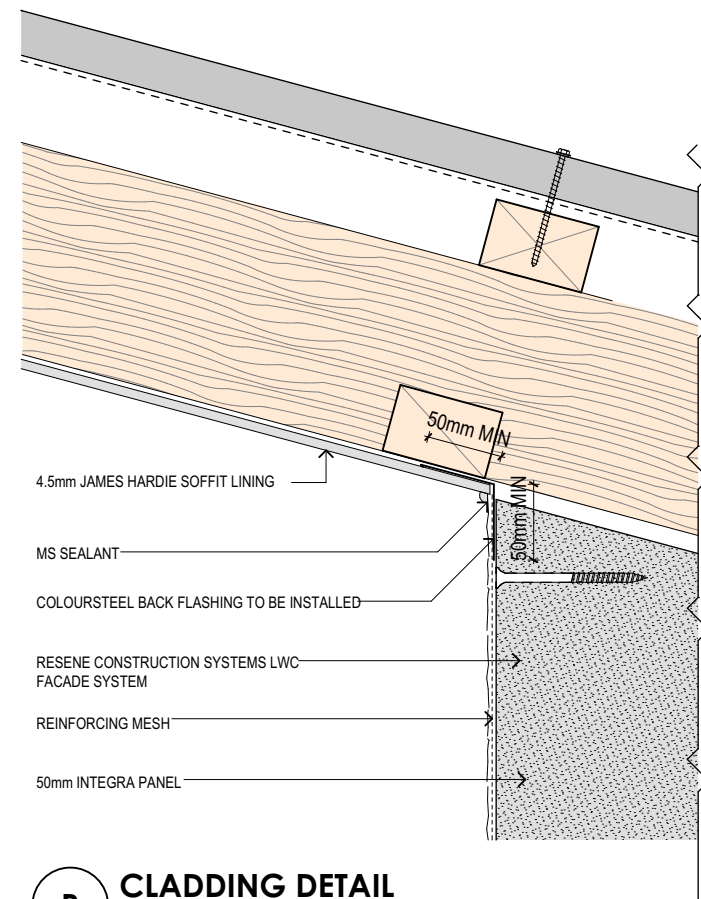
BATH DETAILS



DETAIL E
BATH UPSTAND
INTERNAL DETAIL
1:5



DETAIL F
BATH UPSTAND
INTERNAL DETAIL
1:5



P CLADDING DETAIL
1:5

CLARKE HOUSE

LOT 41
2 ELM TREE LANE
LAKE HOOD

CONSULTANTS

ISSUES

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFPS

NOTES

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Consent Documents

BC0734/21

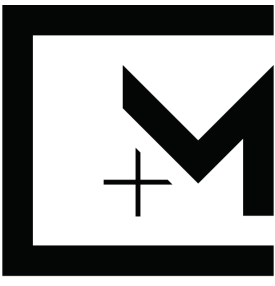
Ashburton District Council

INTERNAL DETAILS

SCALE :	1:5 @ A2
DATE :	18-02-2022
PROJECT No:	21053

27

C



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A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFFS

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Consent Documents

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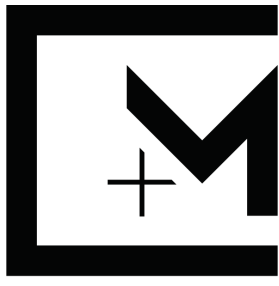
Ashburton District Council

INTERNAL DETAILS

SCALE :	1:5 @ A2
DATE :	18-02-2022
PROJECT No:	21053

28

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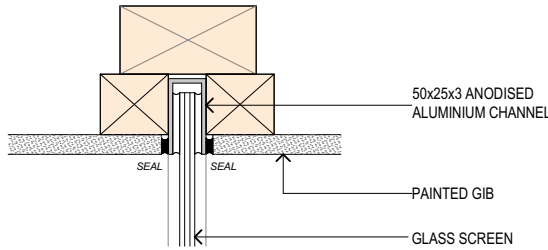


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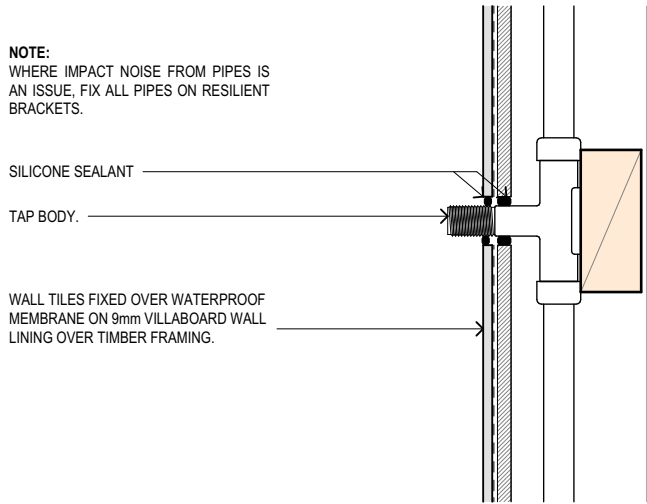
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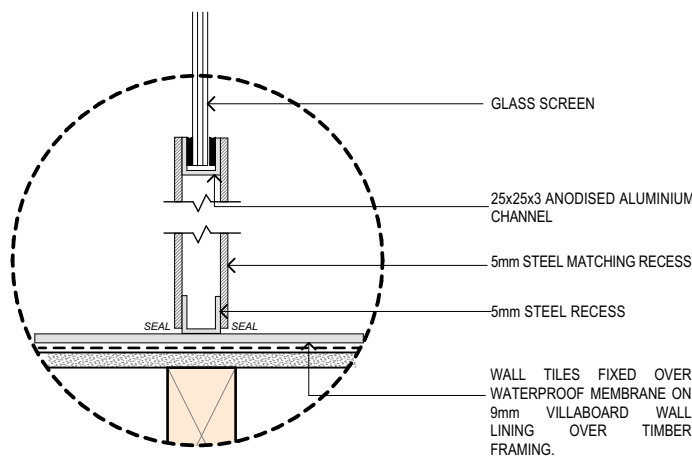
GLASS SCREEN CEILING JUNCTION
48 INTERNAL DETAIL
1:5



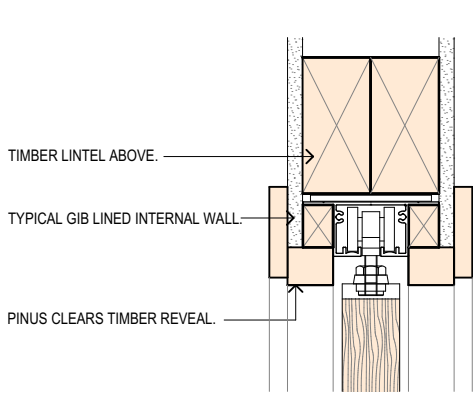
TILED SHOWER TAP
50 INTERNAL DETAIL
1:5



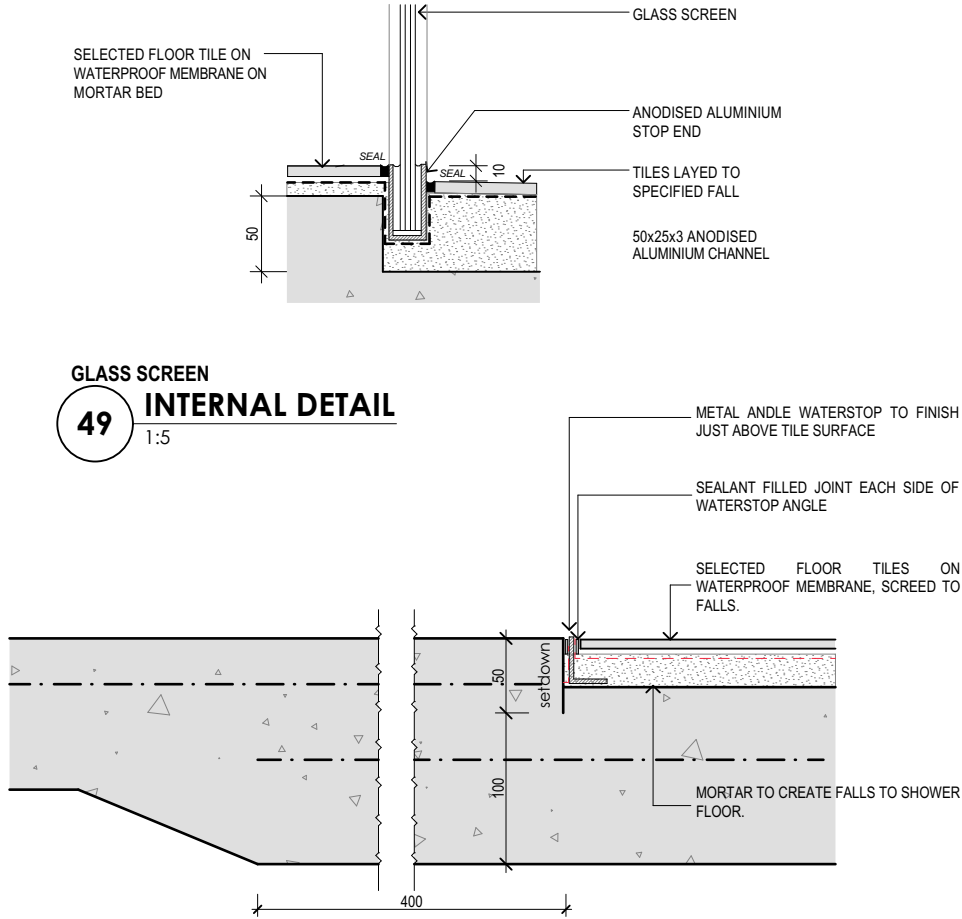
SHOWER GLASS JAMB
51 INTERNAL DETAIL
1:5



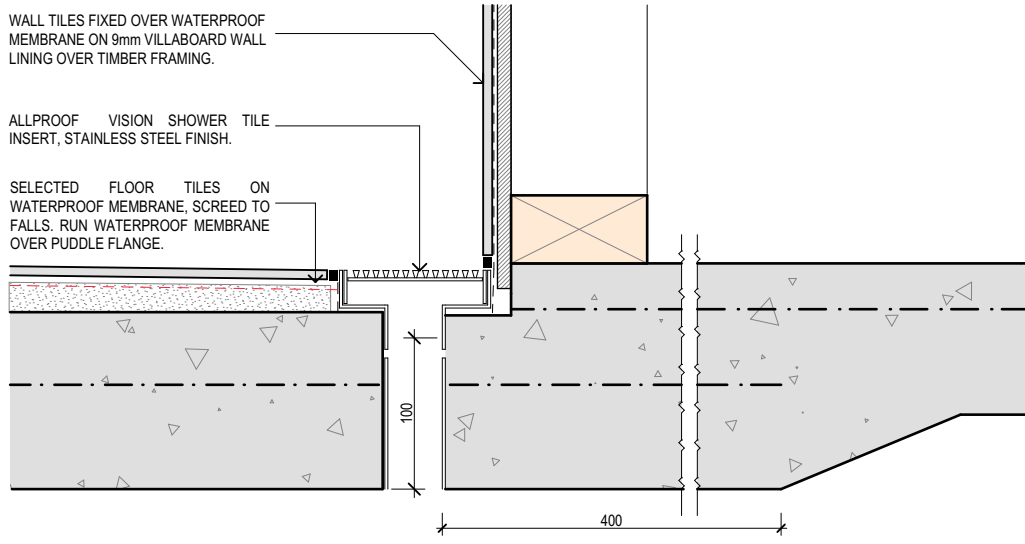
CAVITY SLIDER HEAD
52 INTERNAL DETAIL
1:5



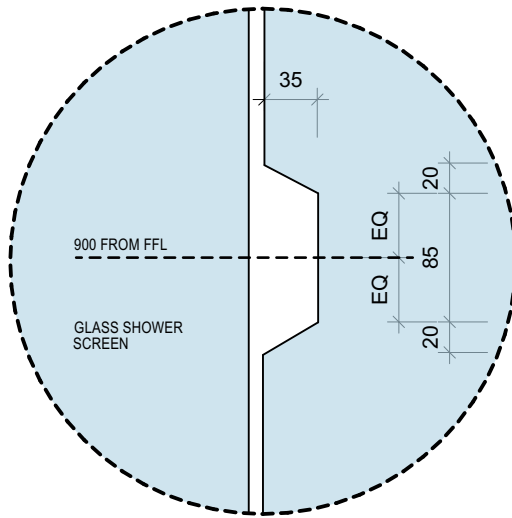
GLASS SCREEN
49 INTERNAL DETAIL
1:5



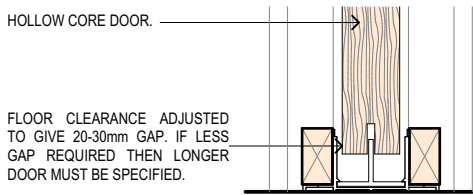
TILED SHOWER DRAIN
54 INTERNAL DETAIL
1:5



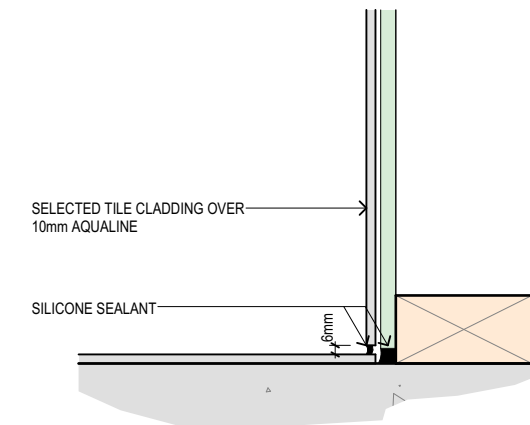
SHOWER DOOR HANDLE
55 INTERNAL DETAIL
1:5



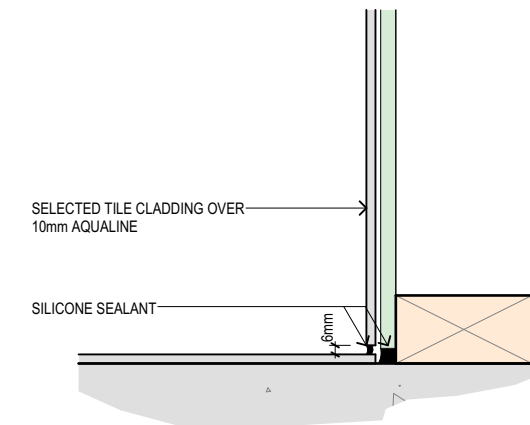
CAVITY SLIDER BASE
56 INTERNAL DETAIL
1:5



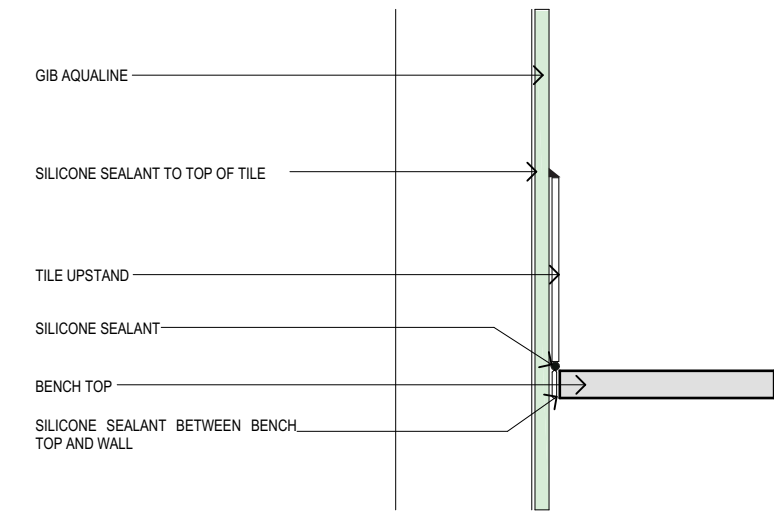
TILED SHOWER THRESHOLD
53 INTERNAL DETAIL
1:5



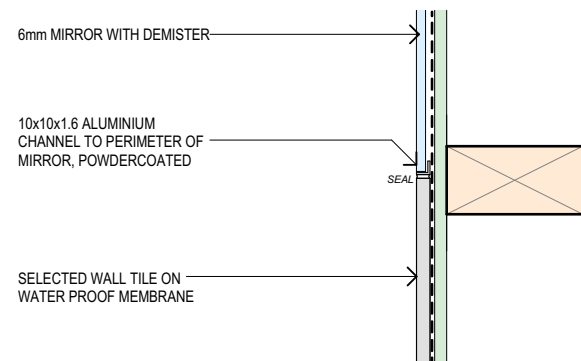
TILED BASE
57 INTERNAL DETAIL
1:5



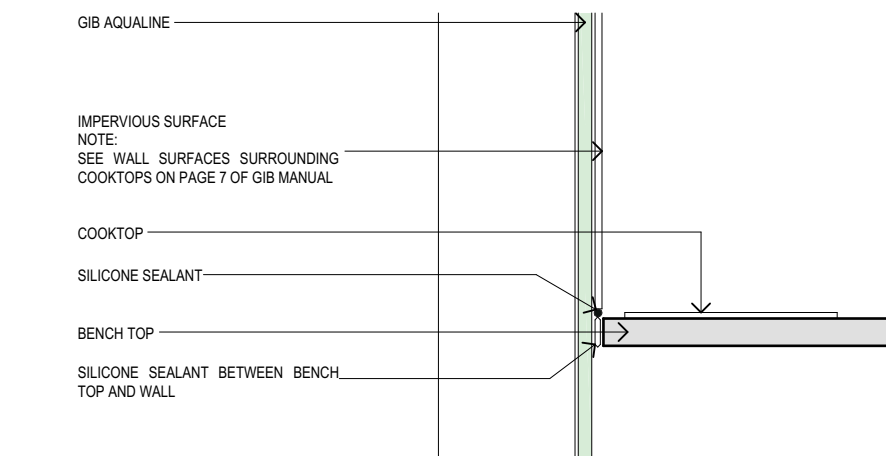
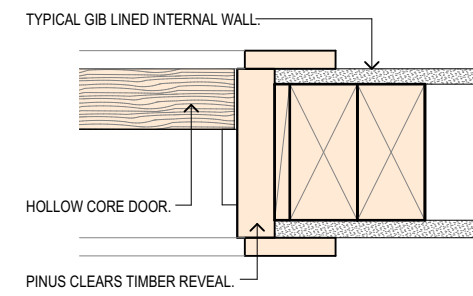
BENCHTOP DETAIL
58 INTERNAL DETAIL
1:5



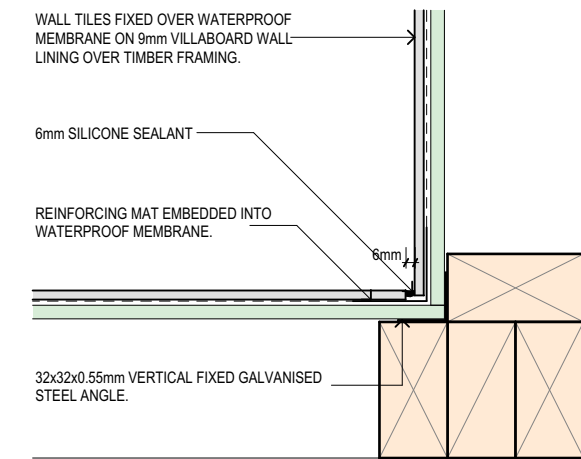
MIRROR TO TILE
59 INTERNAL DETAIL
1:5



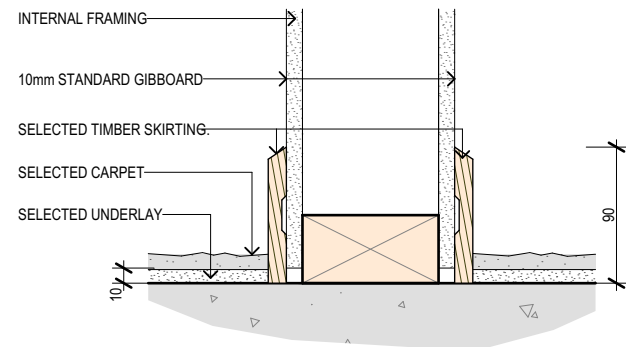
INTERNAL DOOR
60 INTERNAL DETAIL
1:5



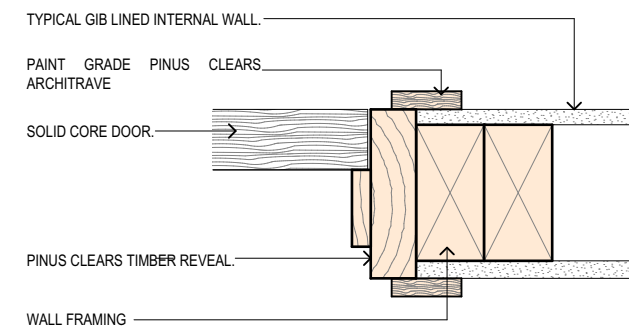
COOKTOP DETAIL
61 INTERNAL DETAIL
1:5



INTERNAL CORNER
62 INTERNAL DETAIL
1:5



SKIRTING DETAIL-CARPET
63 INTERNAL DETAIL
1:5



INTERNAL DETAIL
64 1:5

A	08-08-2021	PRELIMS
B	01-11-2021	WORKING DRAWINGS
C	18-02-2022	RFIS

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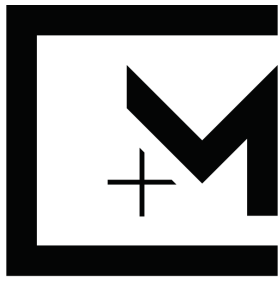
Ashburton District Council

WEATHERING
DETAILS

SCALE : 1:5 @ A2
DATE : 18-02-2022
PROJECT No: 21053

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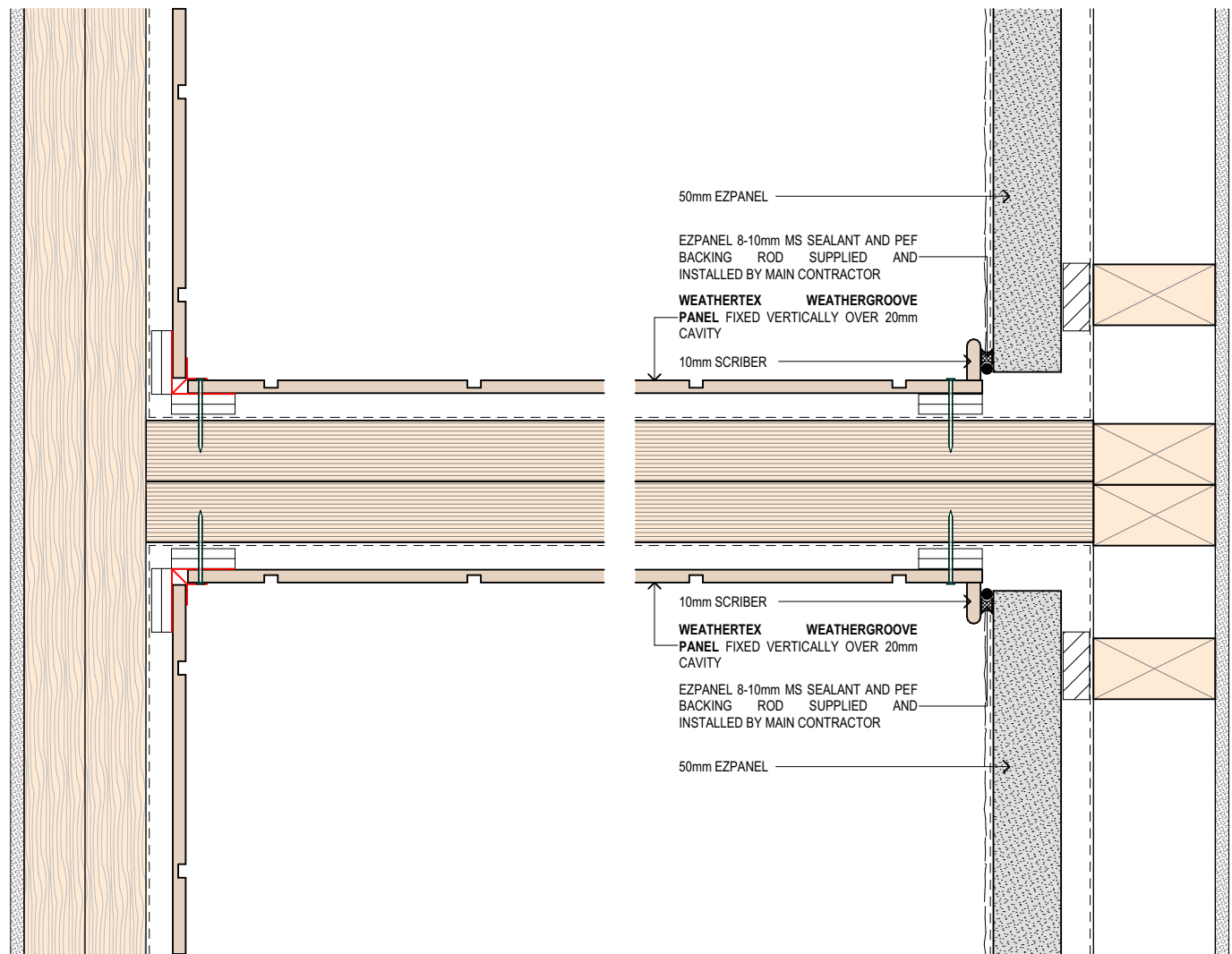
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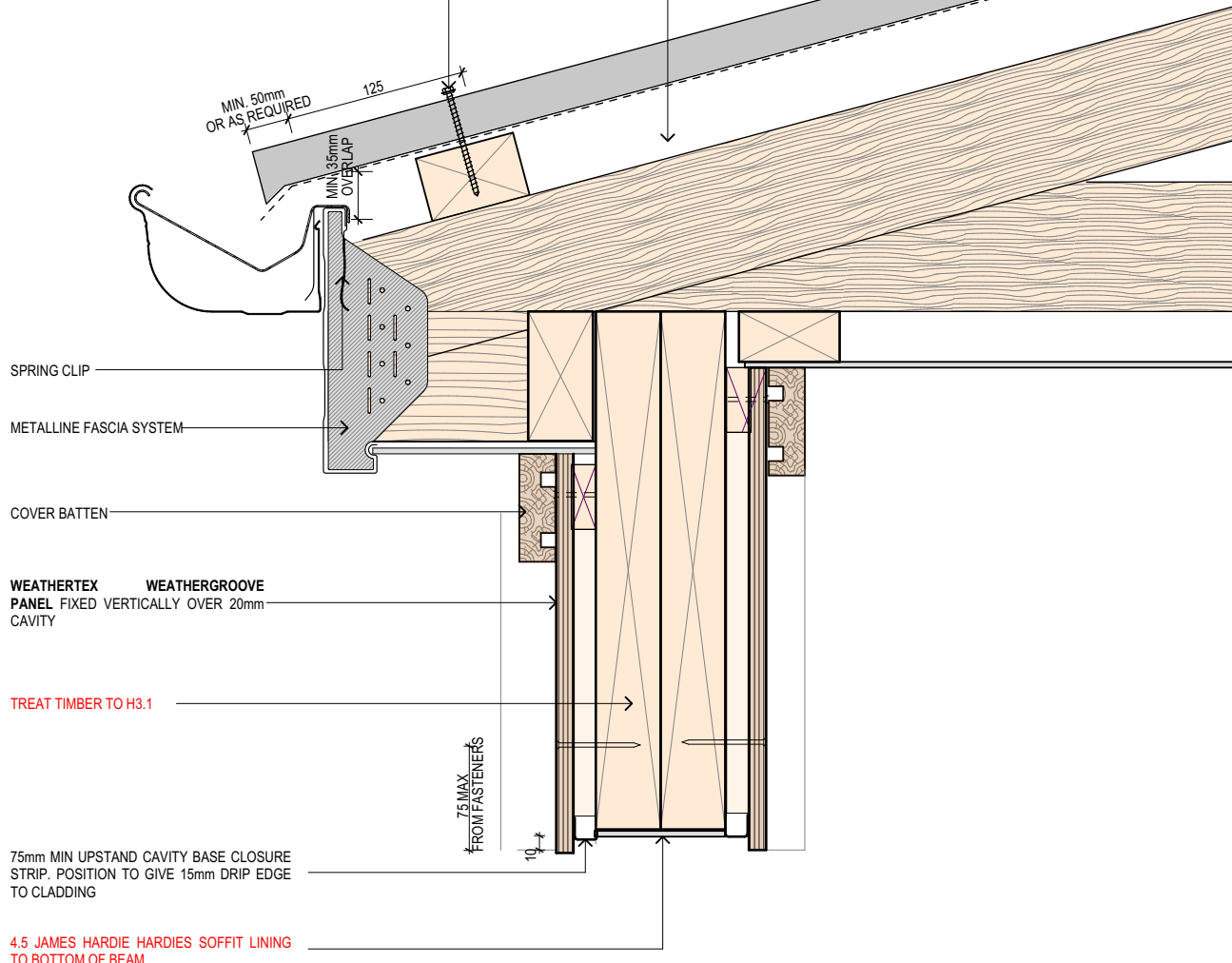
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5-RIB ROOFING OVER BREATHER TYPE SELF SUPPORTING ROOFING UNDERLAY ON H1.2 TREATED Ex 75x50mm PINUS RADIATA PURLINS @ 900mm CRS.

ROOF TRUSSES DESIGNED AND MANUFACTURED BY A LICENCED TRUSS FABRICATOR. THE TRUSS DESIGNER SHALL ALLOW TO SITE MEASURE PRIOR TO ANY MANUFACTURING COMMENCING.

PRE-FINISHED SELF DRILLING/TAPPING SCREW WITH RUBBER WASHER



M CLADDING DETAIL
1:5

OUTLINE OF WHERE CHIMNEY SHALL SIT

T-RIB ROOFING OVER BREATHER TYPE SELF SUPPORTING BUILDING WRAP ON H1.2 TREATED Ex 70x35mm PINUS RADIATA PURLINS.

TAPERED STOPEND TO DIVERT APRON FLASHING WATER INTO GUTTER

STOP SPOUTING MIN 10mm CLEAR OF FINISHED WALL CLADDING

TRANSITION TRAY FLASHING EXTENDED TO UNDERSIDE OF ROOFING WITH MATERIAL OPTIONS FROM PARAGRAPH 4.3- 4.38 E2/AS1

65 CLADDING DETAIL
N.T.S

APRON FLASHING UPSTAND BEHIND CLADDING AND WALL UNDERLAY

SELECTED WALL CLADDING

T-RIB ROOFING OVER BREATHER TYPE SELF SUPPORTING BUILDING WRAP ON H1.2 TREATED Ex 70x35mm PINUS RADIATA PURLINS.

4.5mm HARDIES SOFFIT LINING FIXED TO H1.2 TREATED Ex 100x50 PINUS RADIATA SPROCKETS @ 600mm CRS.

COLOURSTEEL FASCIA BOARD

OUTSIDE/LIVING CHIMNEY

66 CLADDING DETAIL
N.T.S

NOTE: THE UPSTAND AT THE LOWER EDGE OF THE APRON FLASHING MAY BE PREFORMED TO A LARGER SIZE THEN TRIMMED ON SITE TO SUIT.

THE TRANSITION FLASHING BRIDGES GAP AT THE END OF FASCIA TO PROTECT THE SOFFIT FRAMING

WALL UNDERLAY OMITTED FOR CLARITY

TAPERED STOPEND TO DIVERT APRON FLASHING WATER INTO GUTTER

STOP SPOUTING MIN 10mm CLEAR OF FINISHED WALL CLADDING

TRANSITION TRAY FLASHING EXTENDED TO UNDERSIDE OF ROOFING WITH MATERIAL OPTIONS FROM PARAGRAPH 4.3- 4.38 E2/AS1